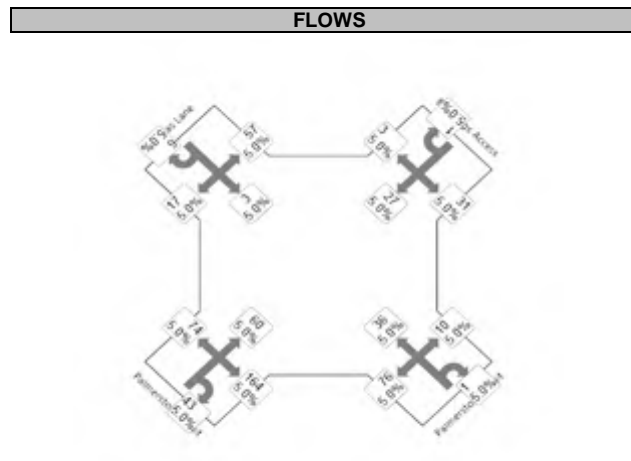
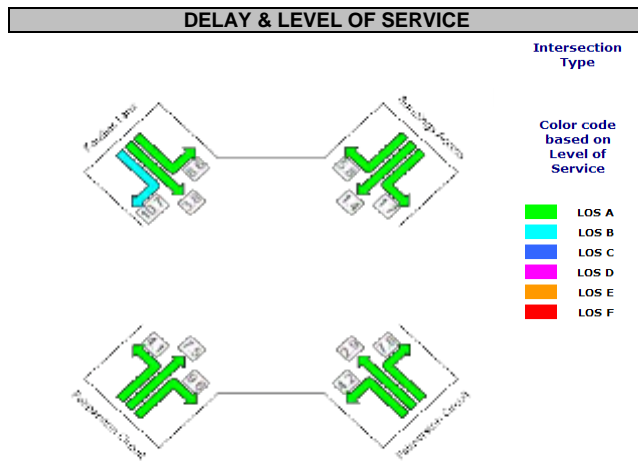
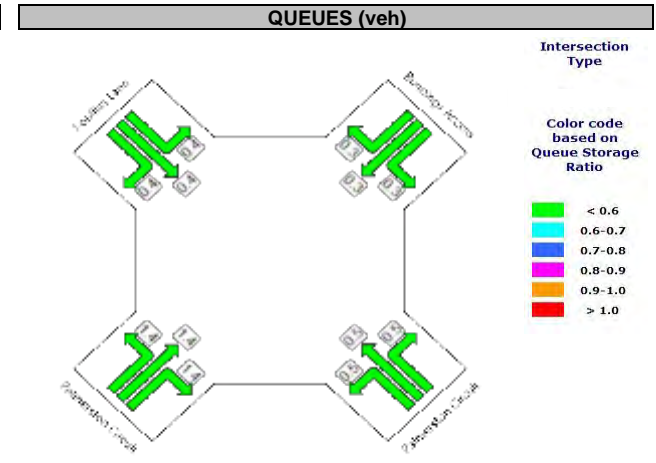
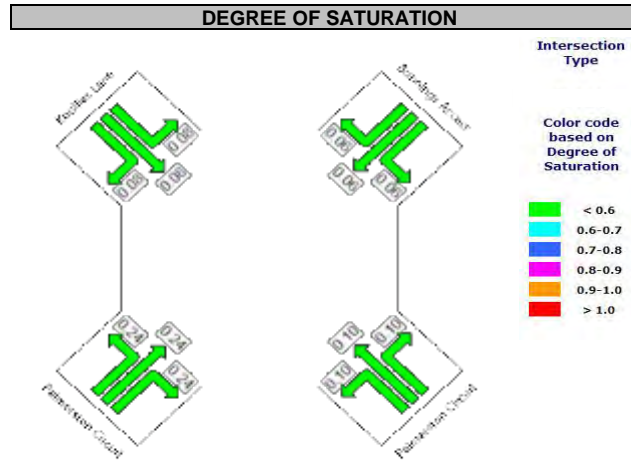
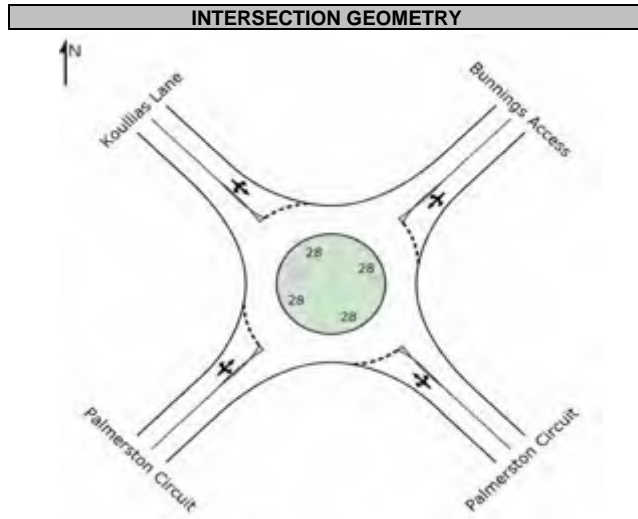


JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	PALMERSTON CIRCUIT / KOULLIAS LANE
SCENARIO:	FORECAST (2025) AM PEAK HOUR (SEASONALLY ADJUSTED & 3% pa GROWTH)

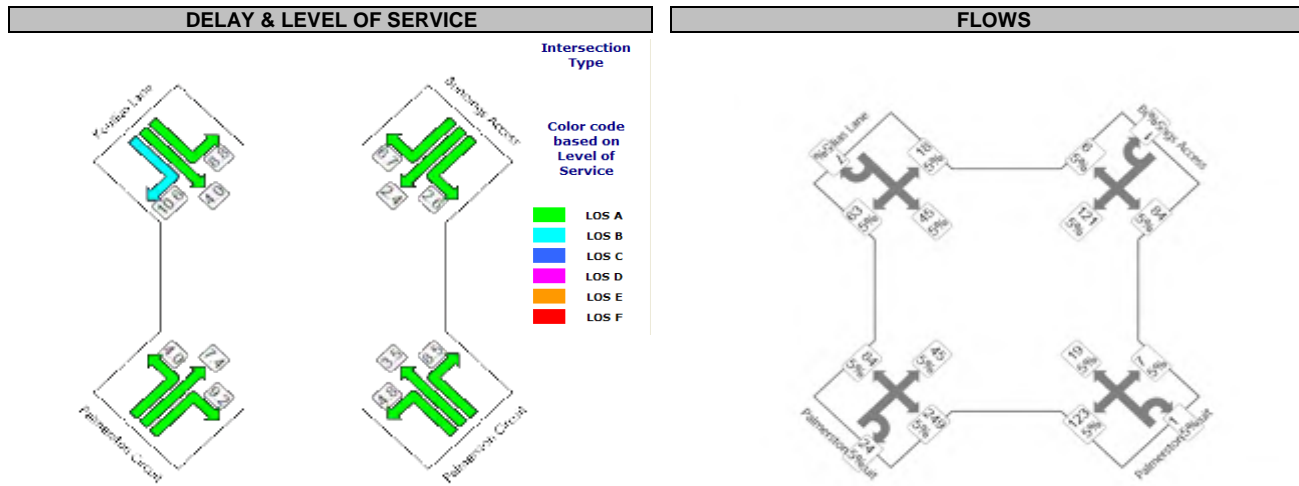
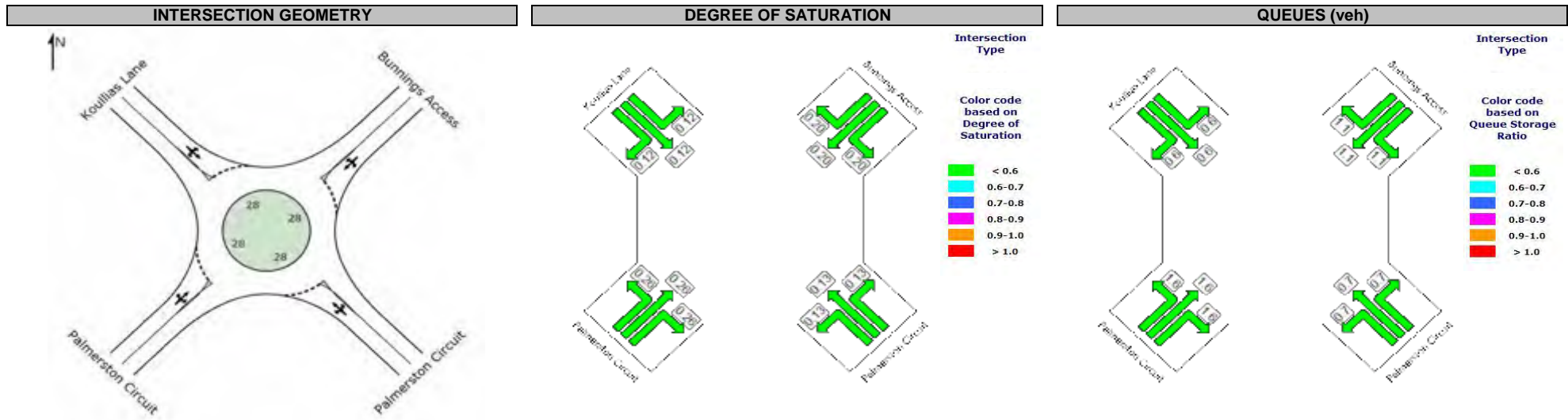




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	PALMERSTON CIRCUIT / KOULLIAS LANE
SCENARIO:	FORECAST (2025) PM PEAK HOUR (SEASONALLY ADJUSTED & 3% pa GROWTH)

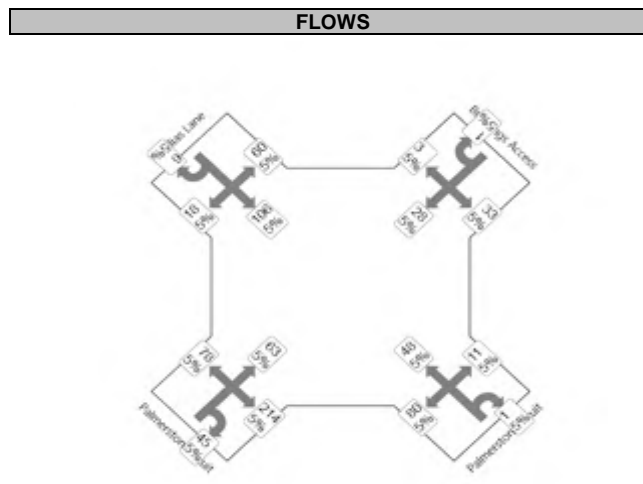
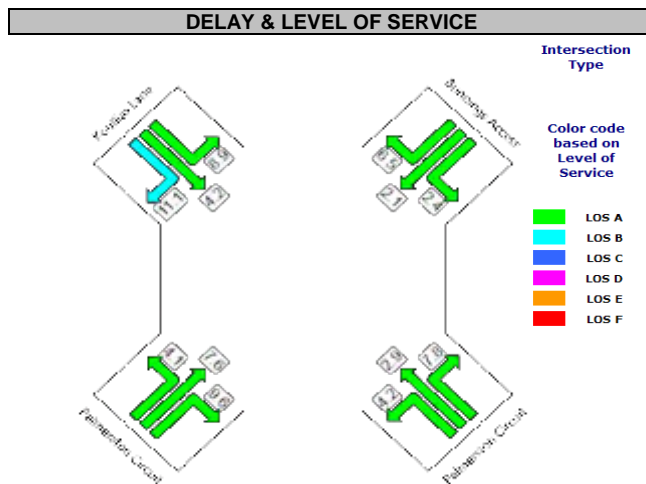
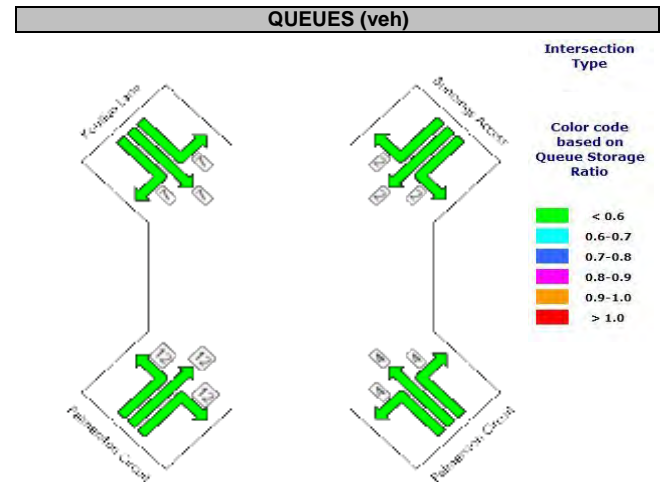
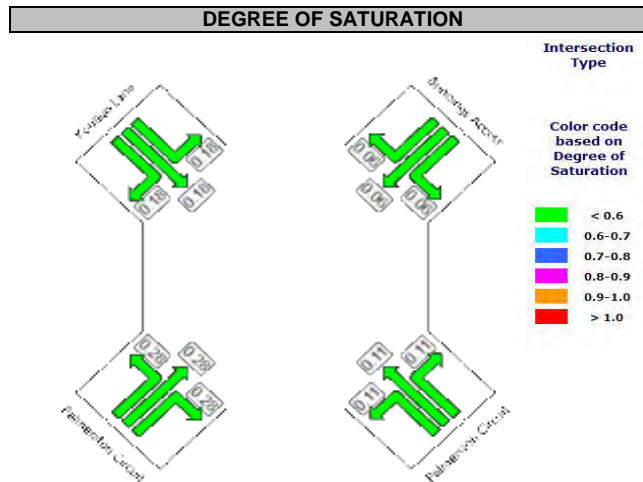
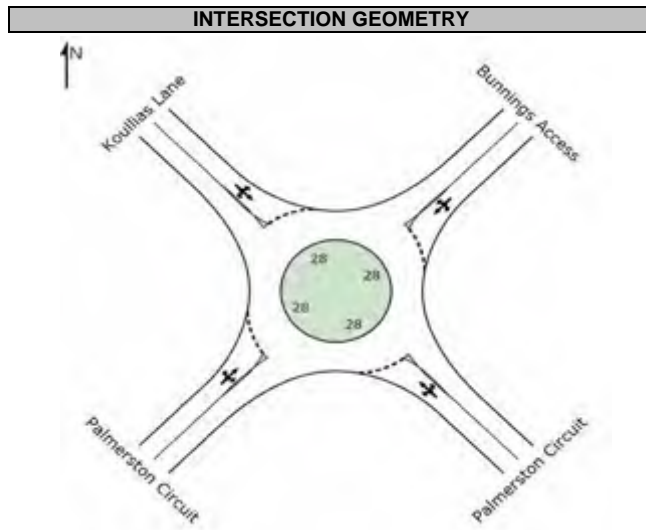




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	PALMERSTON CIRCUIT / KOULLIAS LANE
SCENARIO:	FORECAST (2025) AM PEAK + DEVELOPMENT VOLS (SEASONALLY ADJUSTED & 3% pa GROWTH)



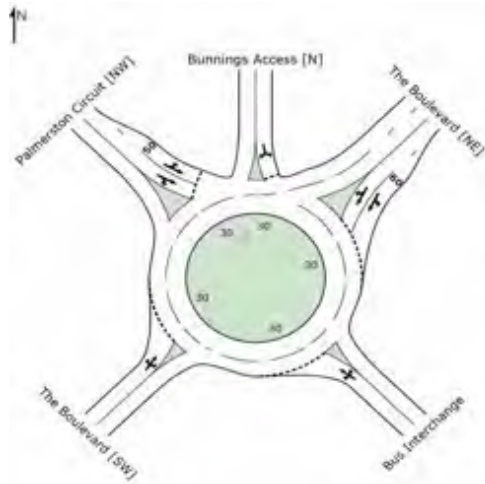


JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

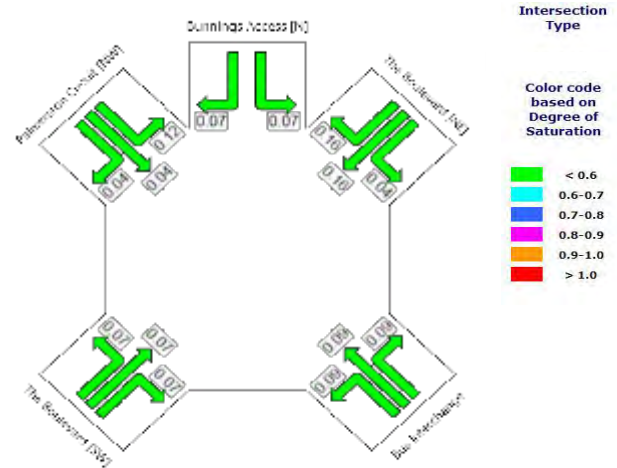
INTERSECTION:	PALMERSTON CIRCUIT / KOULLIAS LANE
SCENARIO:	FORECAST (2025) PM PEAK + DEVELOPMENT VOLS (SEASONALLY ADJUSTED & 3% pa GROWTH)



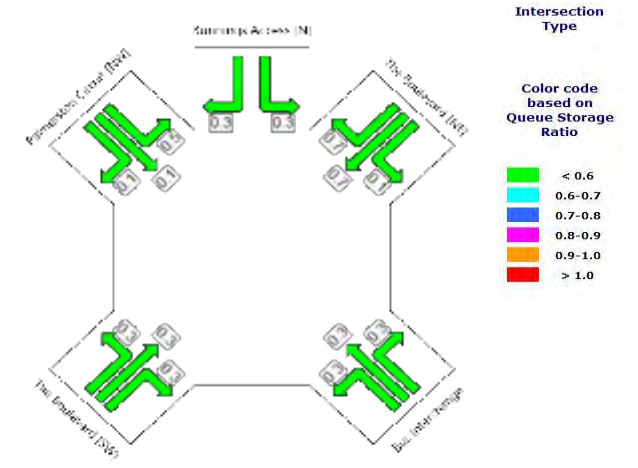
INTERSECTION GEOMETRY



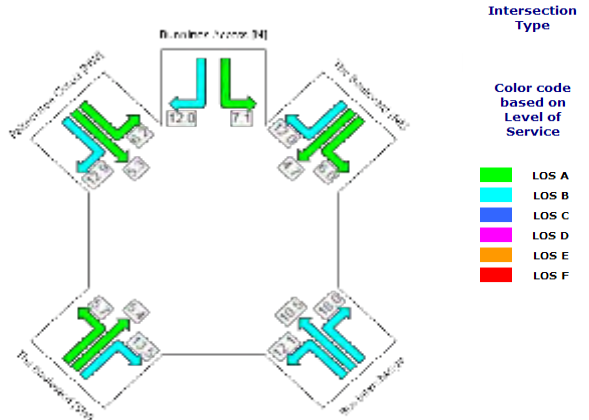
DEGREE OF SATURATION



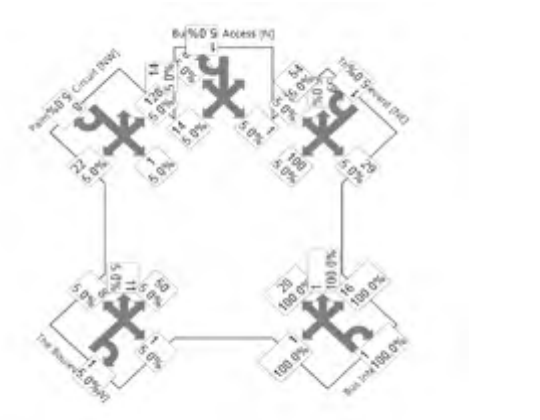
QUEUES (veh)



DELAY & LEVEL OF SERVICE



FLOWS

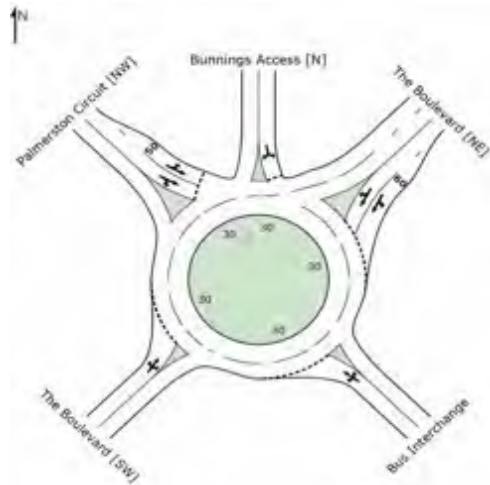


JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

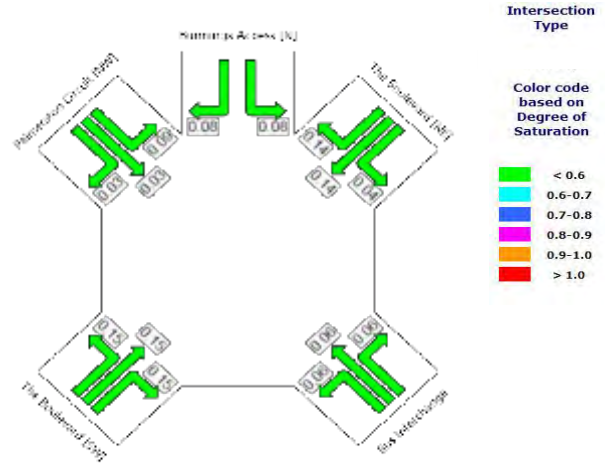
INTERSECTION:	BOULEVARD / BUS ITRCHANGE / PALMERSTON CCT
SCENARIO:	2015 EXISTING AM PEAK HOUR (EXTRAPOLATED FROM 2013) (SEASONALLY ADJUSTED)



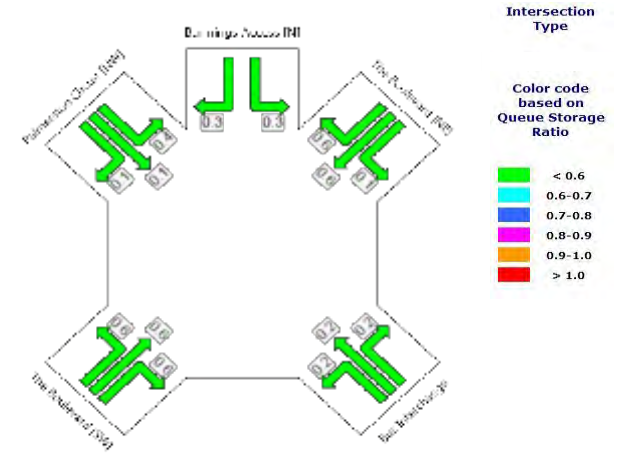
INTERSECTION GEOMETRY



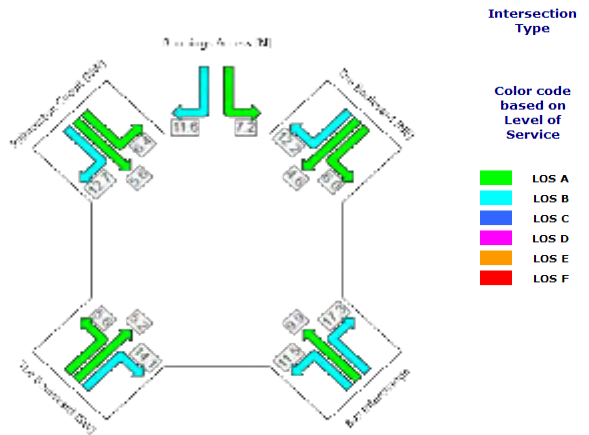
DEGREE OF SATURATION



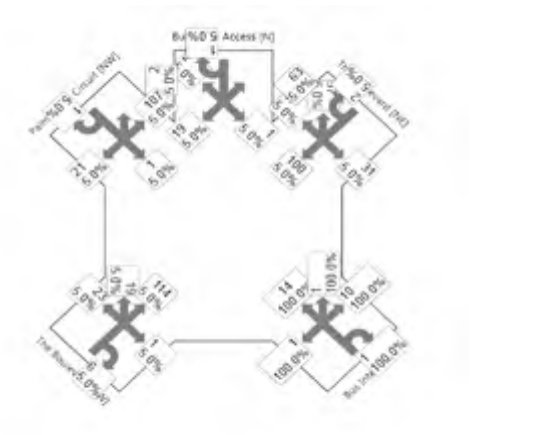
QUEUES (veh)



DELAY & LEVEL OF SERVICE



FLOWS



JOB NUMBER: 14-0343

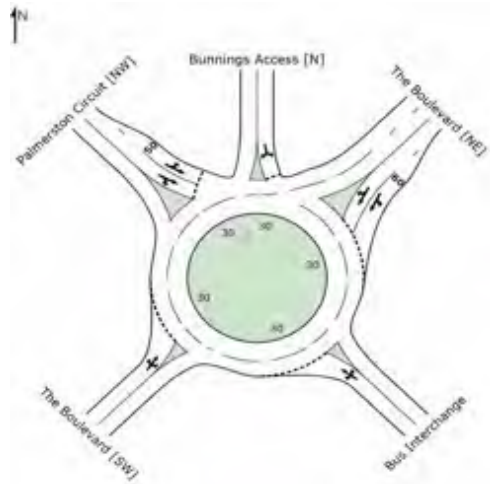
PROJECT NAME: LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION: BOULEVARD / BUS INTERCHANGE / PALMERSTON CCT

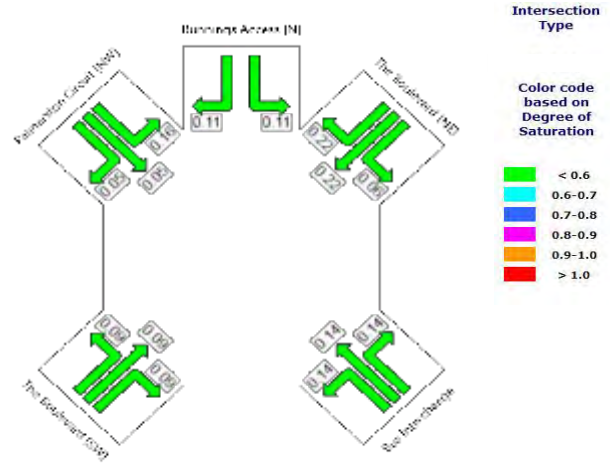
SCENARIO: 2015 EXISTING PM PEAK HOUR (EXTRAPOLATED FROM 2013) (SEASONALLY ADJUSTED)



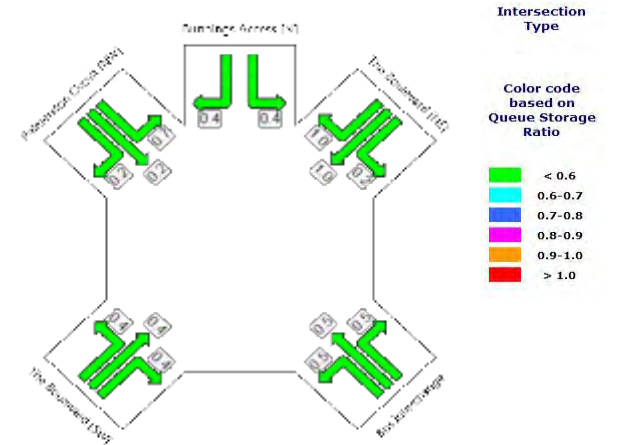
INTERSECTION GEOMETRY



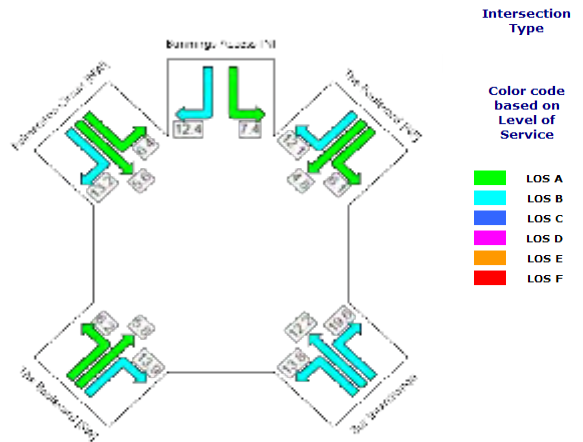
DEGREE OF SATURATION



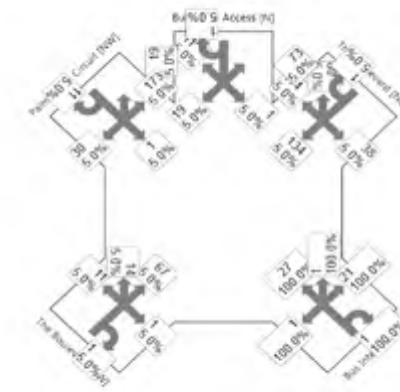
QUEUES (veh)



DELAY & LEVEL OF SERVICE



FLOWS

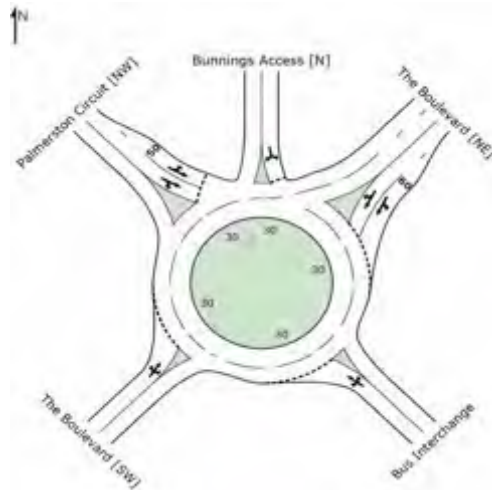


JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

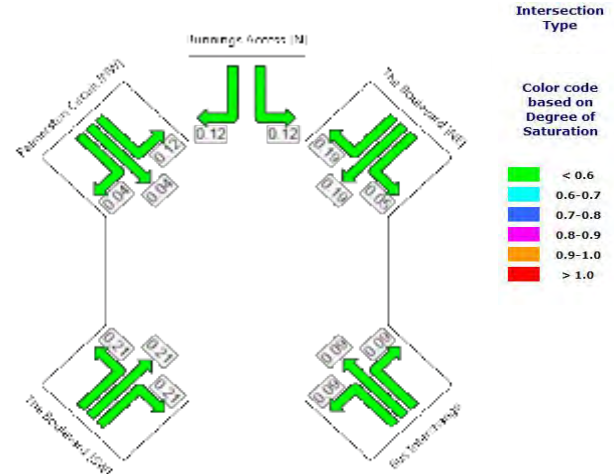
INTERSECTION:	BOULEVARD / BUS ITRCHANGE / PALMERSTON CCT
SCENARIO:	FORECAST (2025) AM PEAK HOUR EXISTING ROUNDABOUT LAYOUT



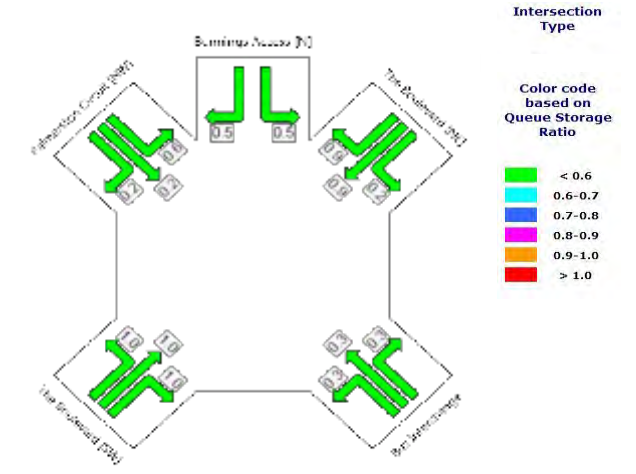
INTERSECTION GEOMETRY



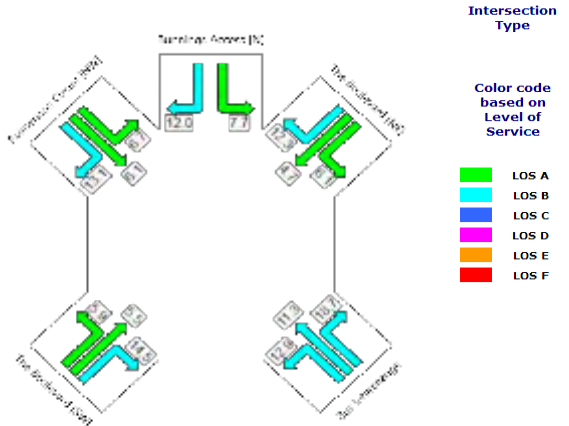
DEGREE OF SATURATION



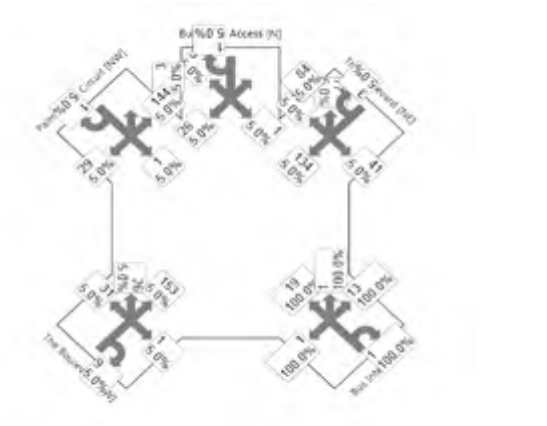
QUEUES (veh)



DELAY & LEVEL OF SERVICE



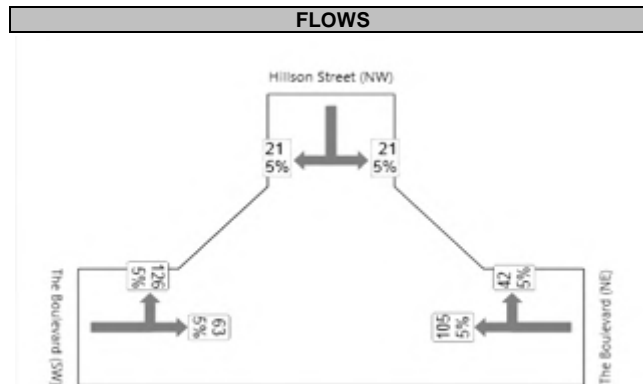
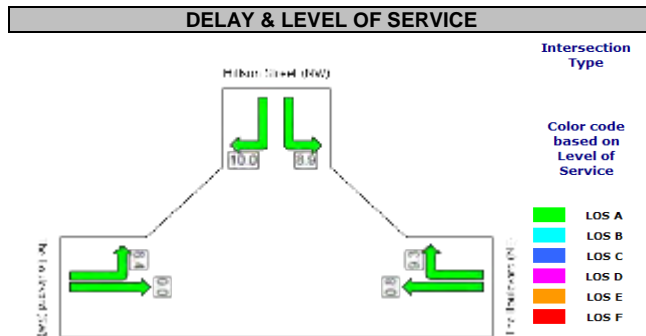
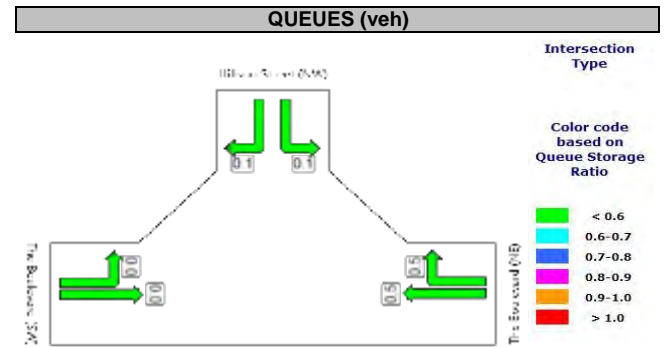
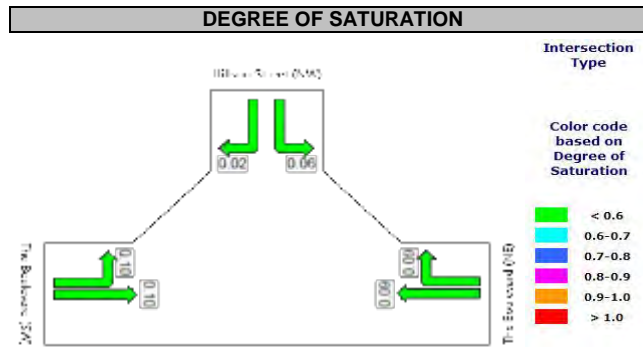
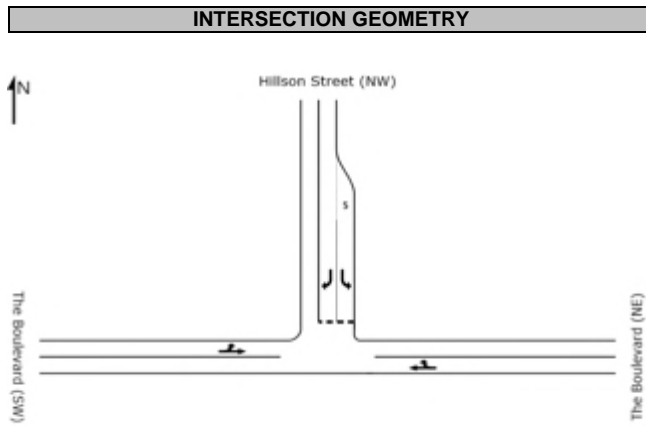
FLOWS



JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	BOULEVARD / BUS ITRCHANGE / PALMERSTON CCT
SCENARIO:	FORECAST (2025) PM PEAK HOUR EXISTING ROUNDABOUT LAYOUT

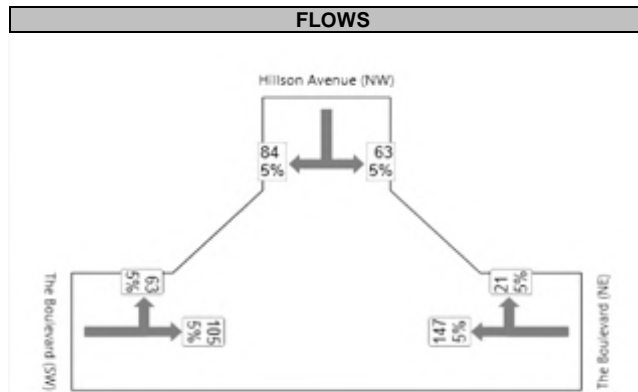
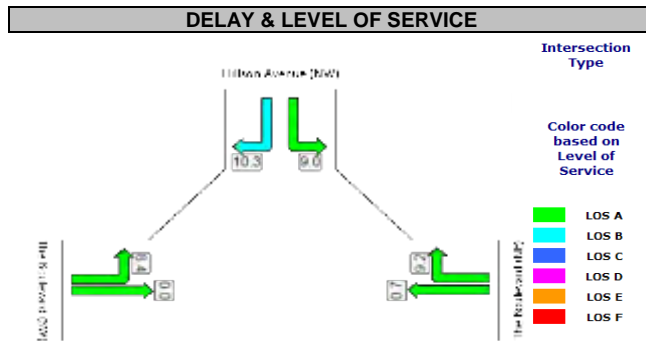
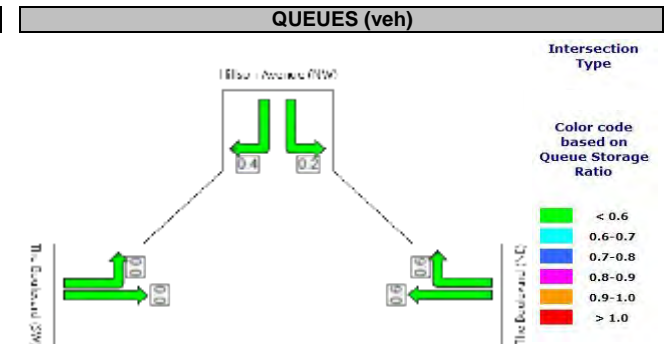
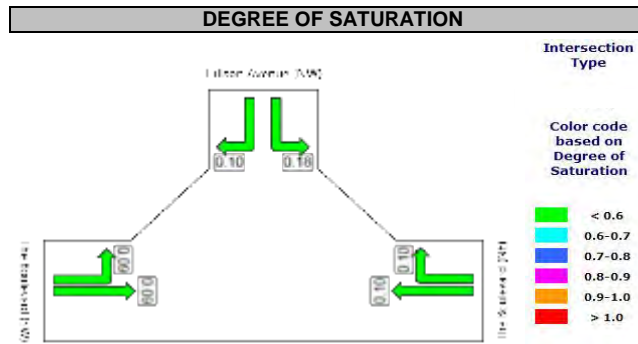
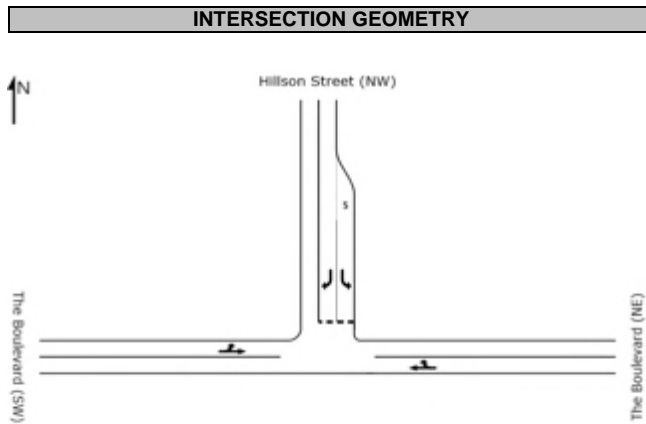




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	2015 EXISTING AM PEAK HOUR (ESTIMATED)

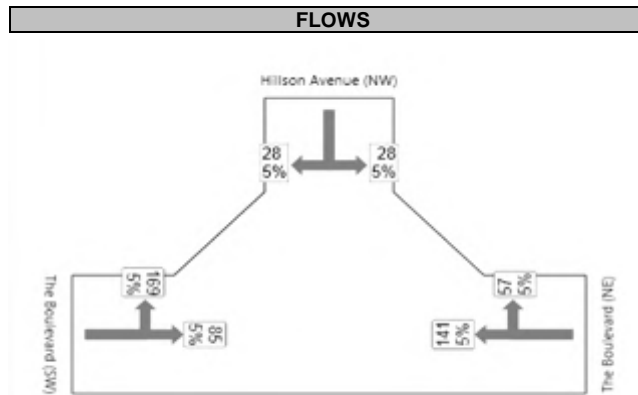
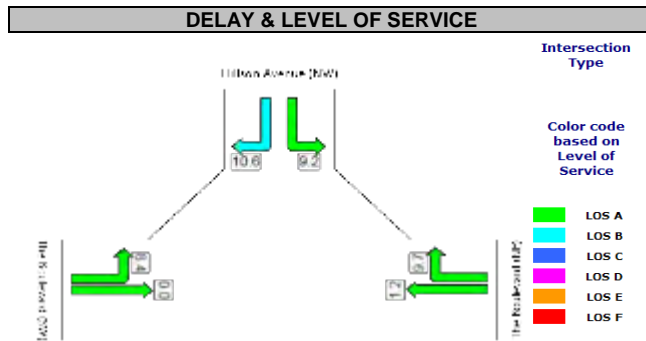
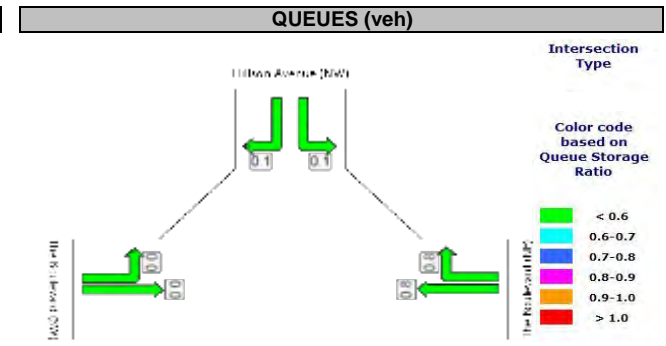
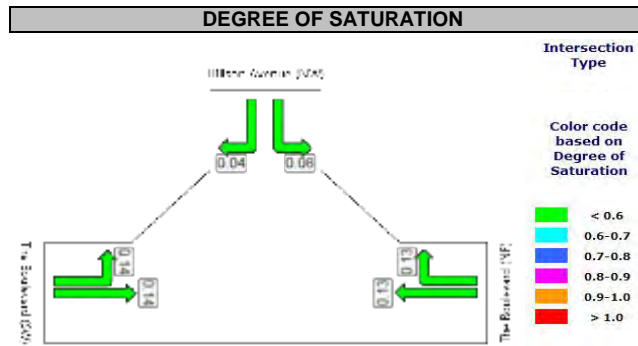
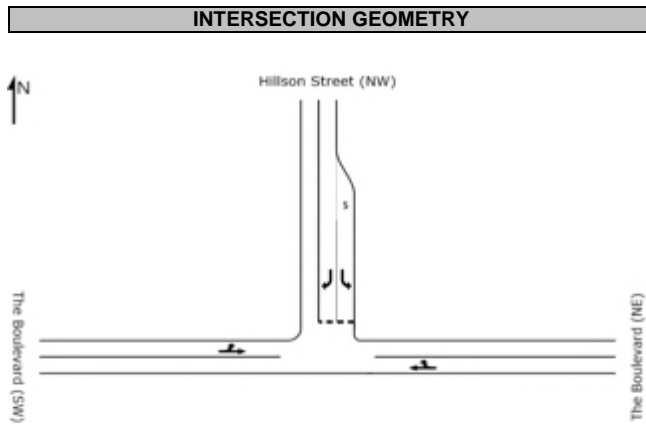




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	2015 EXISTING PM PEAK HOUR (ESTIMATED)

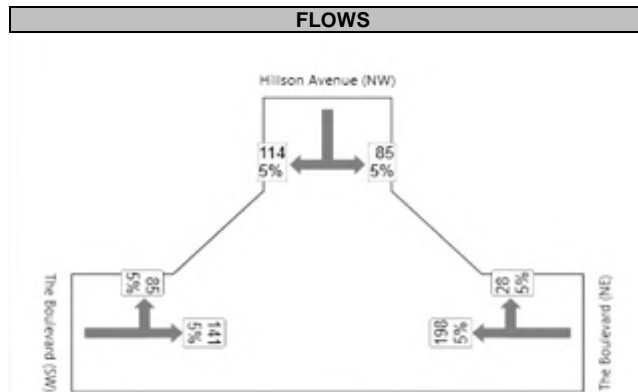
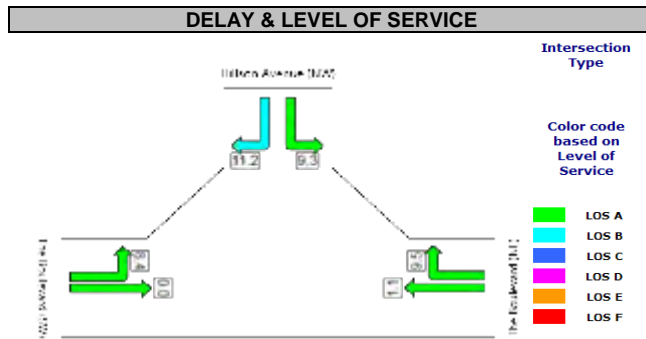
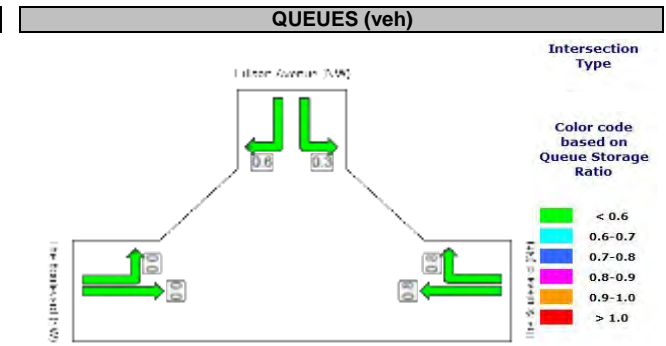
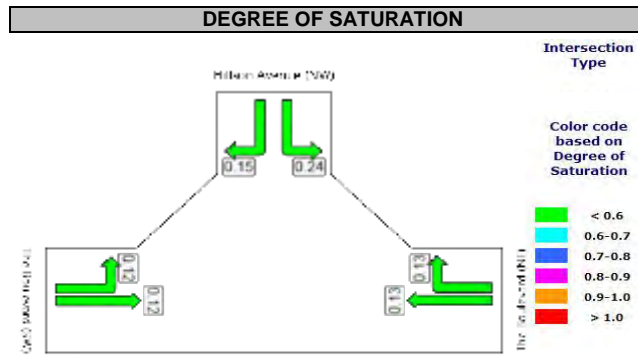
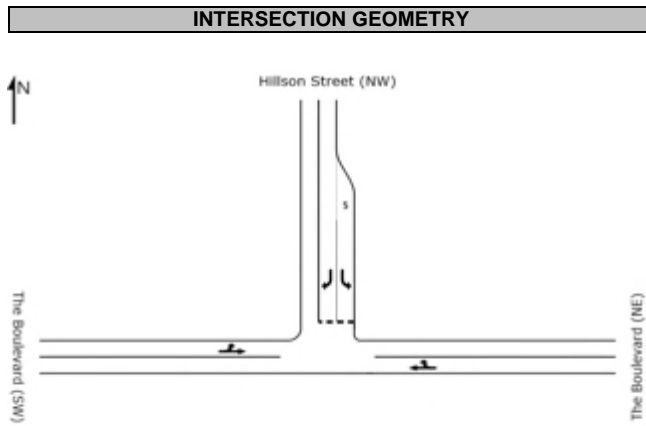




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	FORECAST (2025) AM PEAK HOUR 3% pa GROWTH)

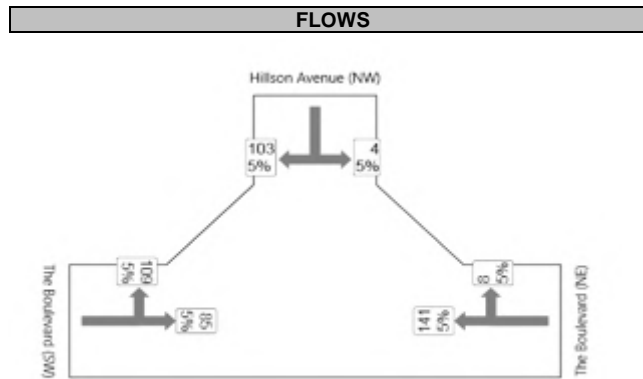
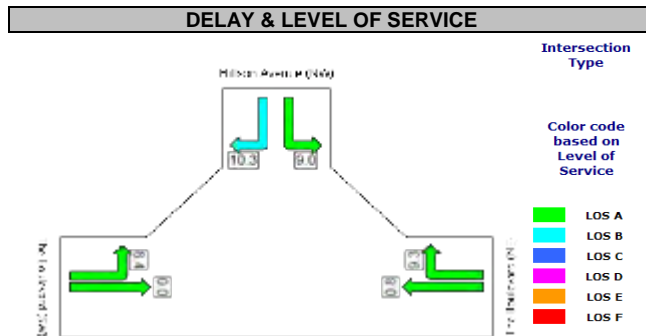
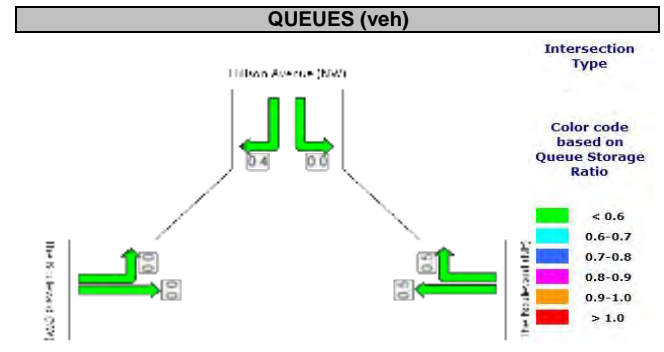
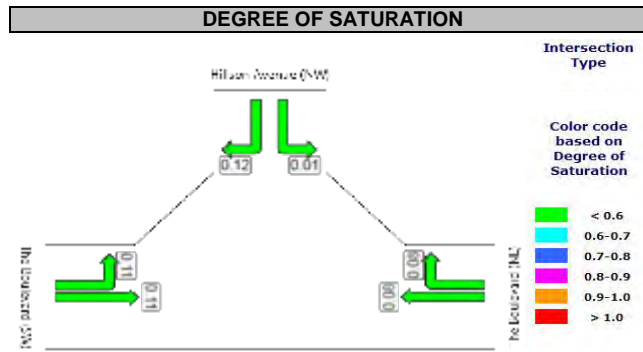
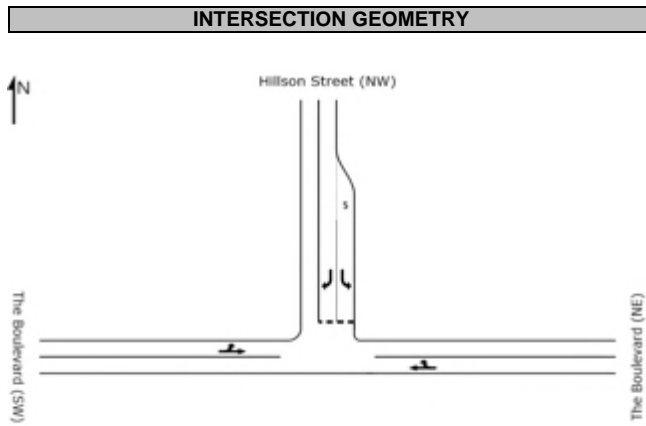




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	FORECAST (2025) PM PEAK HOUR (SEASONALLY ADJUSTED & 3% pa GROWTH)

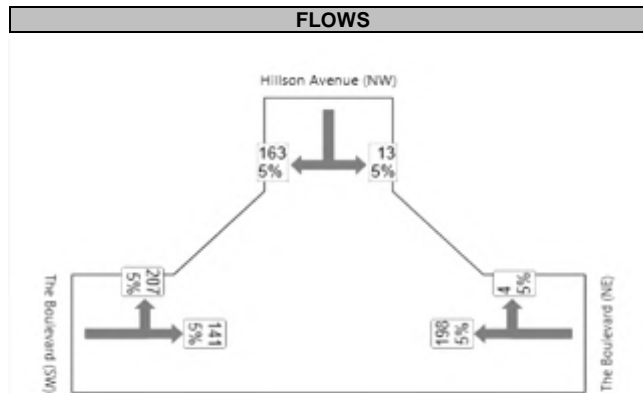
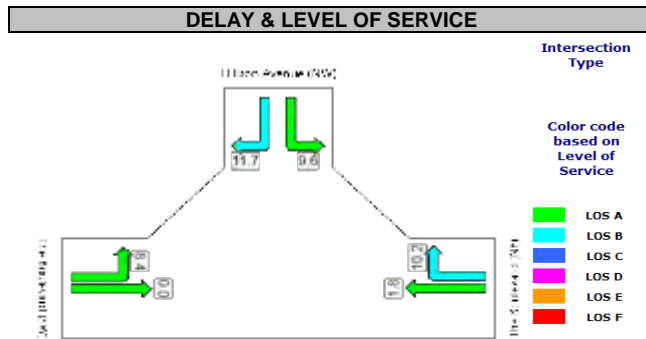
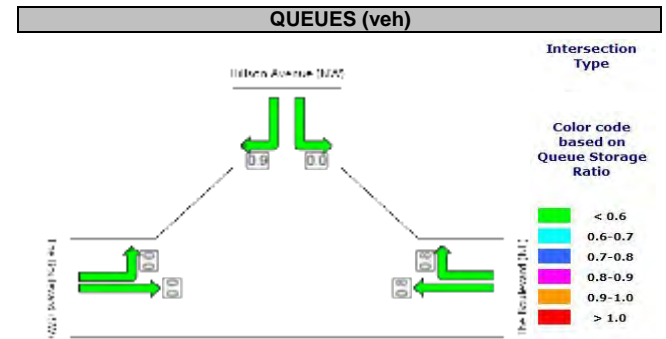
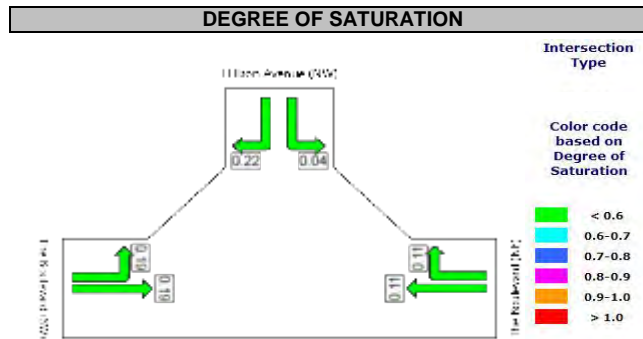
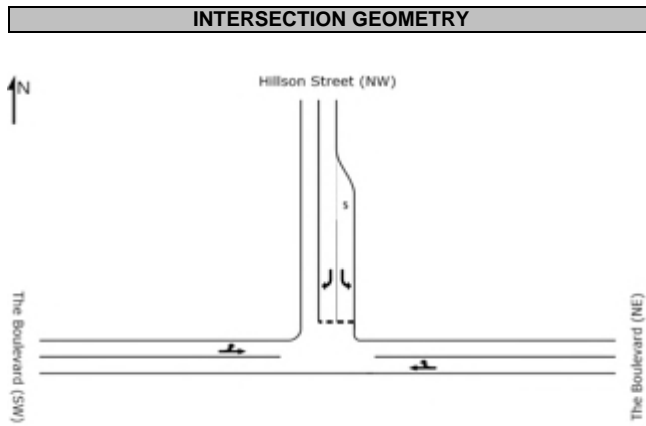




JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	FORECAST (2025) AM PEAK + DEVELOPMENT VOLS (3% pa GROWTH)





JOB NUMBER:	14-0343
PROJECT NAME:	LOT 12297 PALMERSTON CIRCUIT PALMERSTON

INTERSECTION:	THE BOULEVARD / HILLSON STREET
SCENARIO:	FORECAST (2025) PM PEAK + DEVELOPMENT VOLS (3% pa GROWTH)





Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6115
Facsimile No: (08) 8999 6055

In reply please quote: PA2014/0953

Mr Owen Dutton
Land Release Unit and Land Economic Development
GPO BOX 1680
DARWIN NT 0801
land.release@nt.gov.au

Dear Mr Dutton,

NOTICE OF CONSENT (SECTION 53B OF THE *PLANNING ACT*) LOT 10026 (1) PALMERSTON CIRCUIT, TOWN OF PALMERSTON

The Development Consent Authority has determined, in accordance with section 53(a) of the *Planning Act*, to grant consent to the proposal to use and develop the abovementioned land for the purpose of a subdivision to create 2 lots, subject to the conditions detailed in the attached permit DP15/0046.

Reasons for the Determination

1. Pursuant to section 51(a) of the *Planning Act*, the consent authority must take into account any planning scheme that applies to the land to which the application relates.

The subdivision is for administrative purposes and no works will be undertaken as part of the subdivision.

The subdivision is consistent with the purpose of Zone CB (Central Business) as it is considered that the proposed subdivision will facilitate the development of the land in accordance with the purpose of the zone as each of the proposed lots are sufficiently sized to provide for a diverse range of activities.

Furthermore, the proposal complies with the relevant provisions of the Northern Territory Planning Scheme.

2. Pursuant to Section 51(j) of the *Planning Act*, the consent authority must take into consideration the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development.

Therefore, provided that easements are vested in the relevant authorities and stormwater is appropriately managed onsite, no adverse impact on the surrounding land is anticipated.

3. Pursuant to Section 51(n) of the Planning Act, the consent authority must take into consideration other matters it thinks fit.

The subdivision is for administrative purposes and no works will be undertaken as part of the subdivision. The subdivision will create two development parcels suitable for future development.

It is the intention of the applicant to consolidate Lot 12825 with part Lot 9635 and the balance of Lot 10026 will be consolidated with Lot 10025 and part Lot 9635 in due course. Consolidation of these parcels of land will require further subdivisions applications.

Any future development of the site will require a development application at which time access arrangements will be considered.

Right of Appeal

Applicants are advised that a right of appeal to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the Planning Act. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile 08 8922 7210 or email AGD.ntcat@nt.gov.au).

There is no right of appeal by a third party under section 117 of the Planning Act in respect of this determination as there were no submissions received under section 49 of the Act.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully



DEBORAH CURRY
Delegate of the Development Consent Authority

29/1/2015

Attachment

Cc City of Palmerston

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - sections 54 and 55

DEVELOPMENT PERMIT

DP15/0046

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 10026
Town of Palmerston
1 PALMERSTON CCT, PALMERSTON CITY

APPROVED PURPOSE

To use and develop the land for the purpose of subdivision to create 2 lots, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Nil.

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the Planning Act, this permit will lapse two years from the date of issue.



DEBORAH CURRY
Delegate
Development Consent Authority

29/1/2015

DEVELOPMENT PERMIT

DP15/0046

SCHEDULE OF CONDITIONS

1. Works carried out under this permit shall be in accordance with the drawings numbered 2014/0933/01 endorsed as forming part of this permit.
2. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
3. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created on the plan of subdivision submitted for approval by the Surveyor General.
4. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage facilities and electricity services to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
5. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston to the satisfaction of the consent authority.

NOTES

1. This permit will expire if one of the following circumstances applies:
 - (a) the use is not started within two years of the date of this permit; or
 - (b) the development is not completed within four years of the date of this permit.The consent authority may extend the periods referred to if a request is made in writing before the permit expires.
2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (landdevelopmentnorth@powerwater.com.au) and Power Network Engineering Section (powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.

4537

4536

KOULLIAS STREET

PALMERSTON
CIRCUIT

24m

PALMERSTON

10025

46.2m

27.2m

9.6m

2.6m

**Balance
Lot 10026**

Approx. Area 1762m²

CIRCUIT

10026

64.4m

34m

Proposed Lot 12825(A)

Approx. Area 4294m²

HILLSON STREET

9635

65.8m

69.6m

THE BOULEVARD

9609

10027

DRIVE

10028

10029

Note:
The dimensions and areas shown on this plan
are approximate only and are subject to survey.

Subdivision of Lot 10026
to create Proposed Lot 12825(A)
Town of Palmerston



Northern
Territory
Government

Department of Lands, Planning and the Environment



Scale 1: 1200 @ A4



Date: 18/11/2014

Drawing Name: Lot 10026 Palmerston superbloc.dgn



NORTHERN TERRITORY OF AUSTRALIA

Record of Administrative Interests and Information

Record of Administrative Interests and Information

The information contained in this record of Administrative Interests only relates to the below parcel reference.

Parcel Reference: Lot 10026 Town of Palmerston plan(s) S2008/199

(See section 38 of the Land Title Act)

Note: The Record of Administrative Interests and Information is not part of the Land Register and is not guaranteed by the Northern Territory of Australia, and the NT Government accepts no Liability for any omission, misstatement or inaccuracy contained in this statement.

Registrar General

Government Land Register

Controlling Agency DEPT LANDS, PLANNING AND
THE ENVIRONMENT 141212

Custodian - Registrar General (+61 8 8999 6252)

Current Title

No Current Title Issued

Tenure Status

Current

Easements

(none found)

Scheme Name

(none found)

Scheme Body Corporate Name

(none found)

Reserved Name(s)

(none found)

Transfers

(none found)

Historic Titles

(none found)

Visit the website http://www.nt.gov.au/justice/bdm/land_title_office/

Custodian - Surveyor General (+61 8 8995 5362)

Address

1 PALMERSTON CCT, PALMERSTON CITY

Survey Plan

S2008/199

Survey Status

Approved

Parcel Status

CURRENT

Parcel Area

6060 square metres

Map Reference

(none found)

Parent Parcels

Lot 00010 Town of Palmerston plan(s) S 80/196

Lot 04734 Town of Palmerston plan(s) S 95/185

Parcel Comments

NOTE: ALTERNATE STREET ADDRESS IS 19 THE BOULEVARD, PHONE 8995 5353 IF CHANGE REQUIRED.
OFFER FOR SALE BY AUCTION NTG S49 3/10/2008. PART LOTS 12296(A) AND 12297(A) - S2013/151/69 - S2014/155. TO BE SUBDIVIDED INTO LOT 12296 - S2015/169.

Survey Comments

LOTS 10024 TO 10029, SUBDIVISION OF LOT 4734 AND PART OF LOT 10 TOWN OF PALMERSTON.

Proposed Easements

Drainage to Palmerston City Council

Electricity supply to Power and Water Corporation

Municipality

PALMERSTON MUNICIPALITY

Region

DARWIN

Custodian - Valuer General (+61 8 8943 9193)**Owner's Last Known Address**

Crown Land, C/- DEPT LANDS & HOUSING, GPO BOX 1680, DARWIN NT 0801

Parcels in Valuation

Lot 10026 Town of Palmerston

Unimproved Capital Value

\$2,730,000 on 01/07/2014

\$2,305,000 on 01/07/2011

\$1,500,000 on 01/07/2008

\$900,000 on 01/07/2005

Valuation Improvements

(none found)

Custodian - Property Purchasing (+61 8 8999 6631)**Acquisitions**

(none found)

Custodian - Building Advisory Service (+61 8 8999 8965)**Building Control Areas**

BBDAR001 - Building Control Area

DARWIN BUILDING AREA

Building Permits

(none found)

Visit the website <http://www.nt.gov.au/lands/building/>**Custodian - Town Planning and Development Assessment Services (+61 8 8999 8965)****Planning Scheme Zone**

CB (Central Business)

Interim Development Control Orders

(none found)

Planning Notes

(none found)

Planning Applications**File Number**

PA2014/0933

Type

Subdivision

Date Received

25/11/2014

Application Purpose

Subdivision to create 2 lots

Application Status

Approved

Other Affected Parcels

(none found)

Instrument Signed

29/01/2015

Instrument Number

DP15/0046

Instrument Issued

Signed

Instrument Status

Current

File Number

PA2014/0079

Type

Subdivision

Date Received

04/02/2014

Application Purpose

Subdivision and Consolidation of three lots to create two lots

Application Status

Approved

Other Affected Parcels

Lot 09635 Town of Palmerston

Lot 10025 Town of Palmerston

Instrument Signed

31/03/2014

Instrument Number

DP14/0155

Instrument Issued

Signed

Instrument Status

Current

File Number

PA2008/0609

Type

Variation of Development Permit

Date Received

24/03/2009

Application Purpose

Staging of the subdivision of seven lots into two stages. Stage 1: 1 lot 10028 stage 2: 6 lots 10024-10029 plus the balance parcel of Lot 10.

Application Status

Approved

Other Affected Parcels

Lot 10024 Town of Palmerston

Lot 10025 Town of Palmerston

Lot 10027 Town of Palmerston

Lot 10028 Town of Palmerston

Lot 10029 Town of Palmerston

Lot 00010 Town of Palmerston

Instrument Signed

25/03/2009

Instrument Number

DP08/0585A

Instrument Issued

Signed

Instrument Status

Current

Custodian - Power and Water Corporation (1800 245 092)**Meters on Parcel**

Power Water - Electricity (none found)

Power Water - Water (none found)

For Account balances, contact the Power and Water Corporation.

Custodian - Pool Fencing Unit (+61 8 8924 3641)**Swimming Pool/Spa Status**

(none found)

For more information, contact the Pool Fencing Unit (+61 8 8924 3641).

Custodian - Mines and Energy (+61 8 8999 5322)For information on possible Exploration Licences, contact Mines & Energy or visit the website http://www.nt.gov.au/d/Minerals_Energy/

For information on possible Petroleum Titles, contact Mines & Energy for further details.

Custodian - NT Environment Protection Authority (+61 8 8924 4218)**Results of site contamination assessment**

(none found)

For further information contact Environment Protection Agency or visit the website <http://www.ntepa.nt.gov.au/waste-pollution/compliance/audits/contamination>**Custodian - Heritage Branch (+61 8 8999 5039)****Heritage Listing:**

(none found)

For further information on heritage places contact Heritage Branch or visit the website <http://www.dlpe.nt.gov.au/heritage>**Other Interests**

For Account balances, contact Palmerston City Council

Date Registered: 21/03/2007**Duplicate Certificate as to Title issued?** No**Volume 711 Folio 512****SEARCH CERTIFICATE****CROWN LEASE TERM 02271**

Lot 9635 Town of Palmerston from plan(s) S2005/203

Area under title is 2840 square metres

Owner:City of Palmerston
of PO Box 1, Palmerston NT 0831**Easements:**Electronic communications Easement to Telstra Corporation Limited
Water supply Easement to Power and Water Corporation

Registered Date	Dealing Number	Description
21/03/2007	640138	Notice of a Right to a Grant of Interest
End of Dealings		

Commencement Date: 21st March 2007**Expiry Date:** 20th March 2017**Reservations:**

1. Reservation of right of entry and inspection.
2. Reservation of all minerals, mineral substances and ores in or under the Land including gems, stones, sands, valuable earths and fossil fuels.
3. Reservation of power of resumption.

Provisions:

1. The lease will be for a term of ten (10) years.
2. The purpose of the lease ('the lease purpose') is Over flow car park for the Recreation Centre located on Lot 9609, Town of Palmerston.
3. The annual rent for the lease (called "the rent") will be nil.
4. The lease is granted under and subject to the Crown Lands Act and the Regulations for the time being in force thereunder and is conditional upon compliance by the Lessee with the Conditions and Covenants and will, subject to the Crown Lands Act and the Regulations, be liable to be determined and forfeited for non-compliance with any such lease condition.
5. The Lessee may at any time surrender the lease in the manner prescribed under the Crown Lands Act.
6. For the purpose of section 58 of the Crown Lands Act, the Lessee agrees that the Minister may at his absolute discretion determine the Lessee's rights in improvements and whether compensation is payable for improvements following surrender, expiry, termination or forfeiture of this lease.

Conditions and Covenants:

Date Registered: 21/03/2007

Volume 711 Folio 512

Duplicate Certificate as to Title issued? No

1. Subject to the Crown Lands Act the Lessee will not use the leased land for a purpose other than the purpose for which it is leased, viz: Over flow car park for the Recreation Centre located on Lot 9609, Town of Palmerston.
2. The Lessee will pay rates and taxes which may at any time become due in respect of the leased land.
3. The Lessee will at all times comply with any Control Plan and/or Development Permit under the Planning Act affecting the leased land.
4. The Lessee shall provide any easements required by the relevant service authorities at nil cost to the Northern Territory.
5. The Lessee will ensure that at all times and to the satisfaction of the Minister, that the leased land is kept clean, tidy and free of weeds, debris, dry herbage, rubbish, carcasses of animals and other unsightly or offensive poisonous, toxic or hazardous matter (except as specifically authorised by this lease) and harbour for insects, pests and the breeding of mosquitoes.
6. If the Lessee fails to observe and carry out or cause to be observed or carried out the requirements of Condition 5, the Territory has the right to enter onto the leased land and do all things necessary to that end and the expense and cost thereof, as determined by the Minister, shall be borne and payable by the Lessee on demand.
7. The Lessee acknowledges that the leased land and or the adjoining Crown land may during the term of this lease, be released for commercial development.
8. The Lessee agrees to surrender this lease to the Territory at nil cost, should the Territory proceed to release this land for commercial development, subject to any development proposal including sufficient car parks for the recreation centre to be provided at no cost to the City of Palmerston, as determined by the Development Consent Authority.
9. The Territory agrees to give at minimum, three months notice to the Lessee of any proposal to release the land for commercial development.



NORTHERN TERRITORY OF AUSTRALIA

Record of Administrative Interests and Information

Record of Administrative Interests and Information

The information contained in this record of Administrative Interests only relates to the below parcel reference.

Parcel Reference: Lot 09635 Town of Palmerston plan(s) S2005/203

(See section 38 of the Land Title Act)

Note: The Record of Administrative Interests and Information is not part of the Land Register and is not guaranteed by the Northern Territory of Australia, and the NT Government accepts no Liability for any omission, misstatement or inaccuracy contained in this statement.

Registrar General

Government Land Register

(none found)

Custodian - Registrar General (+61 8 8999 6252)

Current Title

CUFT 711 512 (order 1)

Tenure Type

CROWN LEASE TERM 2271

Tenure Status

Current

Area Under Title

2840 square metres

Owners

City of Palmerston
PO Box 1, Palmerston NT 0831

Easements

Electronic communications Easement to Telstra Corporation Limited
Water supply Easement to Power and Water Corporation

Scheme Name

(none found)

Scheme Body Corporate Name

(none found)

Reserved Name(s)

(none found)

Unit Entitlements

(none found)

Transfers

(none found)

Tenure Comments

(none found)

Historic Titles

(none found)

Visit the website http://www.nt.gov.au/justice/bdm/land_title_office/**Custodian - Surveyor General (+61 8 8995 5362)****Address**

15 THE BOULEVARD PALMERSTON CITY

Survey Plan

S2005/203

Survey Status

Approved

Parcel Status

CURRENT

Parcel Area

2840 square metres

Map Reference

Code 503 Scale 2500 Sheet 36.40

Parent Parcels

Lot 00010 Town of Palmerston plan(s) S 80/196

Lot 04734 Town of Palmerston plan(s) S 95/185

Lot 04999 Town of Palmerston plan(s) S 95/185A

Parcel Comments

PART LOT 4734. RECREATION CENTRE OVERFLOW CARPARK (CLT2271). N OF D NTG G12 21/3/2007.

PART LOTS 12296(A) AND 12297(A) - S2013/151/69. TO BE SUBDIVIDED INTO LOT 13085 - S2015/168.

Survey Comments

LOTS 9607 TO 9609, 9635 AND PUBLIC ROAD, SUBDIVISION OF PART OF LOTS 10, 4734 AND LOT 4999.

Proposed Easements

(none found)

Municipality

PALMERSTON MUNICIPALITY

Region

DARWIN

Custodian - Valuer General (+61 8 8943 9193)**Owner's Last Known Address**

City of Palmerston, PO BOX 1, PALMERSTON NT 0831

Parcels in Valuation

Lot 09635 Town of Palmerston

Unimproved Capital Value

\$1,560,000 on 01/07/2014

\$1,420,000 on 01/07/2011

\$1,000,000 on 01/07/2008

\$500,000 on 01/07/2005

Valuation Improvements

(none found)

Custodian - Property Purchasing (+61 8 8999 6631)**Acquisitions**

(none found)

Custodian - Building Advisory Service (+61 8 8999 8965)**Building Control Areas**

BBDAR001 - Building Control Area

DARWIN BUILDING AREA

Building Permits

(none found)

Visit the website <http://www.nt.gov.au/lands/building/>

Custodian - Town Planning and Development Assessment Services (+61 8 8999 8965)**Planning Scheme Zone**

CB (Central Business)

Interim Development Control Orders

(none found)

Planning Notes

(none found)

Planning Applications**File Number**

PA2014/0079

Type

Subdivision

Date Received

04/02/2014

Application Purpose

Subdivision and Consolidation of three lots to create two lots

Application Status

Approved

Other Affected Parcels

Lot 10025 Town of Palmerston

Lot 10026 Town of Palmerston

Instrument Signed

31/03/2014

Instrument Number

DP14/0155

Instrument Issued

Signed

Instrument Status

Current

Custodian - Power and Water Corporation (1800 245 092)**Meters on Parcel**

Power Water - Electricity (none found)

Power Water - Water (none found)

For Account balances, contact the Power and Water Corporation.

Custodian - Pool Fencing Unit (+61 8 8924 3641)**Swimming Pool/Spa Status**

(none found)

For more information, contact the Pool Fencing Unit (+61 8 8924 3641).

Custodian - Mines and Energy (+61 8 8999 5322)For information on possible Exploration Licences, contact Mines & Energy or visit the website
http://www.nt.gov.au/d/Minerals_Energy/

For information on possible Petroleum Titles, contact Mines & Energy for further details.

Custodian - NT Environment Protection Authority (+61 8 8924 4218)**Results of site contamination assessment**

(none found)

For further information contact Environment Protection Agency or visit the website
<http://www.ntepa.nt.gov.au/waste-pollution/compliance/audits/contamination>**Custodian - Heritage Branch (+61 8 8999 5039)****Heritage Listing:**

(none found)

For further information on heritage places contact Heritage Branch or visit the website <http://www.dlpe.nt.gov.au/heritage>**Other Interests**

For Account balances, contact Palmerston City Council

“DUPLEX” PARKING SYSTEM

The CLASSIC STYLE in PARKING

Above Ground Stacker



Construction & Design for
Commercial or home use

Function

Electrohydraulic – parachute valve – maximum
carry valve control – adjustable down valve

Identification figures

Motor: single phase 220V, 3 phase
220/380V 50Hz or 60Hz

Capacity: 2000kg (2500kg model
available)

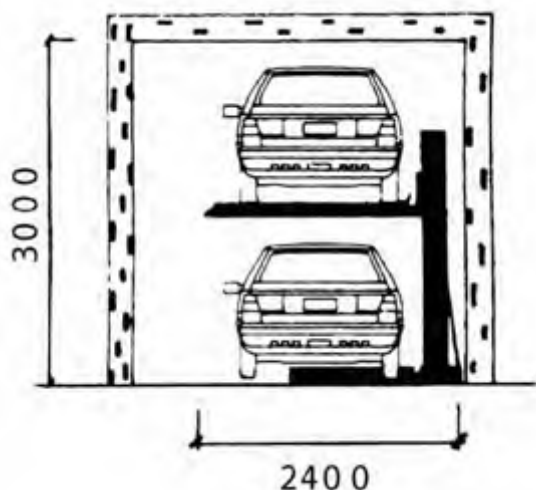
Controls: low voltage (24V) with deadman
system

Height of Lifting : from 0 – 1900mm
(with adjustable end of run)

Dimensions: lifting platform 4000mm x
1840mm

Column width: 330mm x 250mm – height
2300mm the specification above
may be changed according to
your requirements.

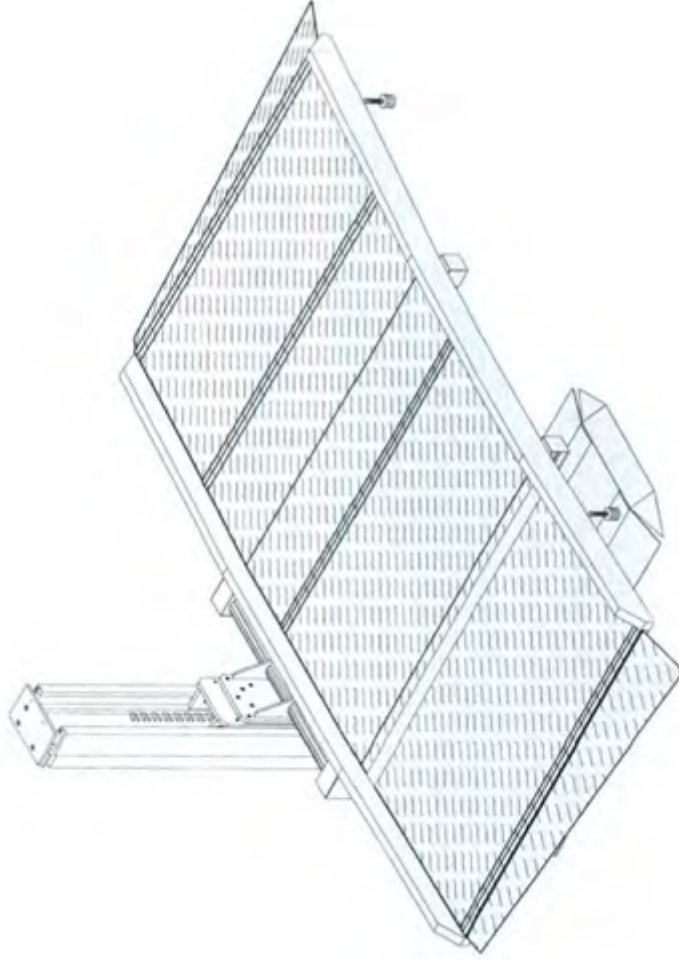
On request: -platform width 2000mm –
2100mm
-lifting height 2000mm –
2100mm
-removable central section
(for car maintenance)

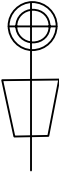


MEASUREMENTS, ENGINEERING & DESIGN

Above Ground Stacker

Loading on the ground x 2000 Kg. = 10,45 KN/MQ.
 Loading on the ground x 2500 Kg. = 13,06 KN/MQ.



Car Stackers International	SCALE: 1:20 	PLATFORM: 1840/1900/2000/2100 LENGTH: 4200 – 950 KG RAISE: 1840/1900/2000/2100 COLUMN: 2400/2500/2600/2700	TOTAL DIM: 590+UP X 4200
DUPLEX PARKING SYSTEM	DATE: 002 DEL 14/09/04	VIEW 3 D NR. REF : SD 900	



KLAUS Multiparking GmbH
Hermann-Krum-Straße 2
D-88319 Aitrach
Fon +49 (0) 75 65 5 08-0
Fax +49 (0) 75 65 5 08-88
info@multiparking.com
www.multiparking.com

PROBUCHEN DATEN
singlevario 2061



2000 kg ¹ / 2500 kg ²

Loadable up to 2500 kg! A system for all height! Subsequently adjustable!

Dimensions

All space requirements are minimum finished dimensions.

Tolerances for space requirements ³. Dimensions in cm.

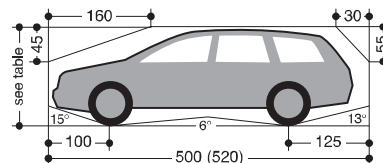
EB (single platform) = 2 vehicles

Suitable for

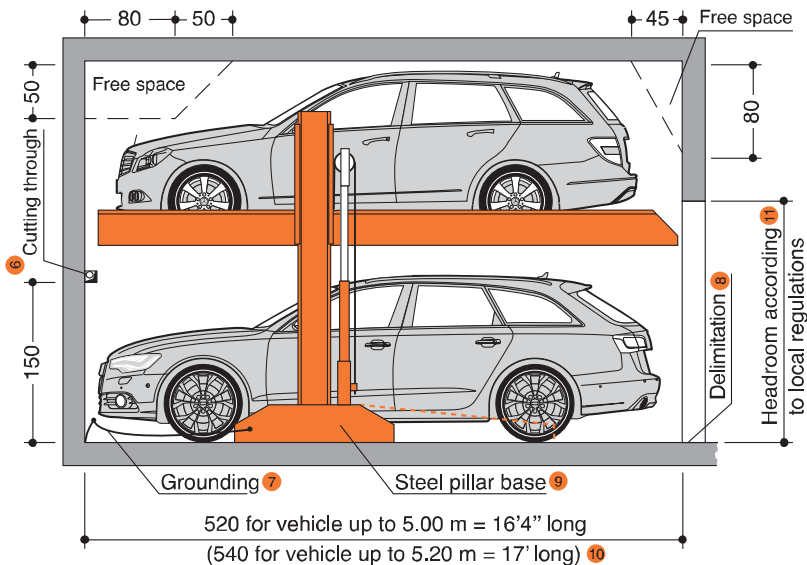
Standard passenger cars:
Limousine, station wagon, SUV, van
according to clearance and maximal surface load.

	Standard	Special ²
width	190 cm ⁴	190 cm ⁴
weight	max. 2000 kg	max. 2500 kg
wheel load	max. 500 kg	max. 625 kg

Clearance profile

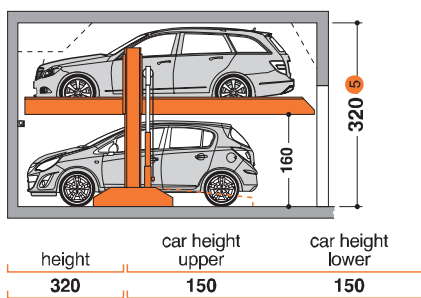


Garage without door (basement garage)

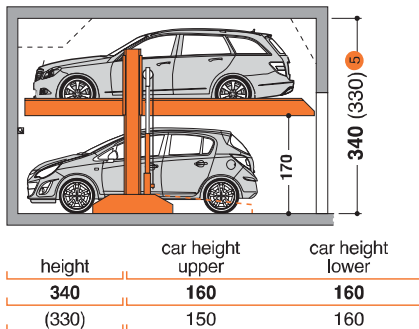


! Before lowering the platform, the vehicle parked on the lower parking space must be driven off!

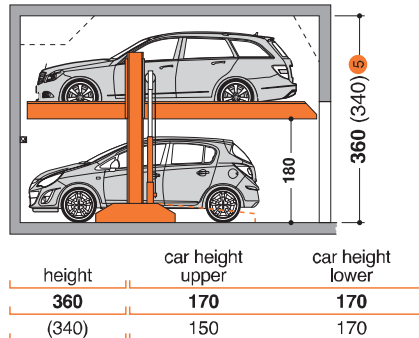
2061-160



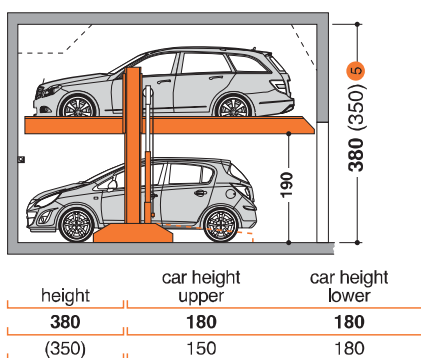
2061-170



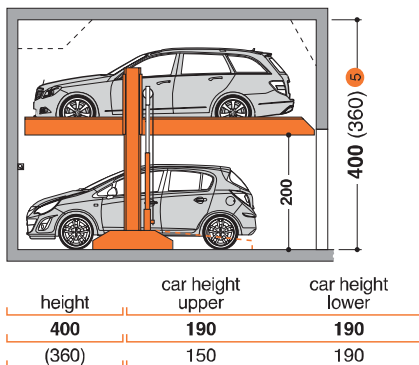
2061-180



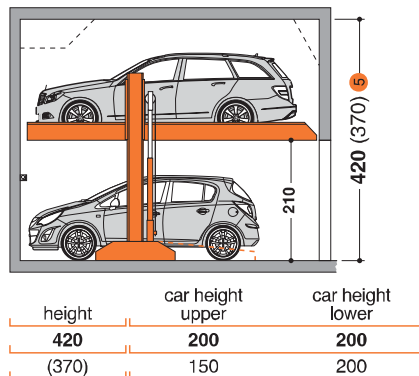
2061-190



2061-200



2061-210



- Standard type
- Special system: maximum load for extra charge.
- To follow the minimum finished dimensions, make sure to consider the tolerances according to VOB, part C (DIN 18330 and 18331) and the DIN 18202.
- Car width for platform width 230 cm. If wider platforms are used it is also possible to park wider cars.
- If a higher ceiling height is available higher cars can be parked.
- For dividing walls: cutting through 10 x 10 cm.
- Potential equalization from foundation grounding connection to system (provided by the customer).
- In compliance with DIN EN 14 010, 10 cm wide yellow-black markings compliant to ISO 3864 must be applied by the customer to the edge of the platform in the access area to mark the danger zone in front of the supporting surface of the upper platform edge (see „Load Plan“ Page 4)
- Variable steel pillar bases in two sizes (see „Load Plan“ Page 4).
- For convenient use of your parking space and due to the fact that the cars keep becoming longer we recommend a pit length of 540 cm.
- Must be at least as high as the greatest car height + 5 cm.

Page 1
Section
Dimensions
Car data

Page 2
Width dim.
without door

Page 3
Width dim.
with door
Function
Approach

Page 4
Load plan
Installation

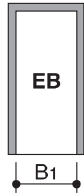
Page 5
Electrical
installation
Technical
data

Page 6
To be performed by the customer
Description

Width dimensions for garage without door (basement garage) ATTACHMENT B

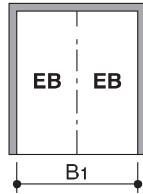
Dividing walls

Single Platform (EB)



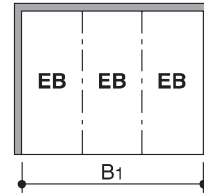
usable platform width	B1
230	260
240	270
250	280
260	290
270	300

Double arrangement (2 x EB)



usable platform width	B1
230	520
240	540
250	560
260	580
270	600

Tripple arrangement (3 x EB)

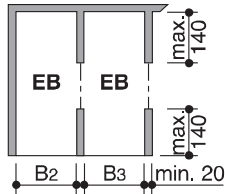


usable platform width	B1
230	780
240	810
250	840
260	870
270	900

Carriageway in accordance with local regulations

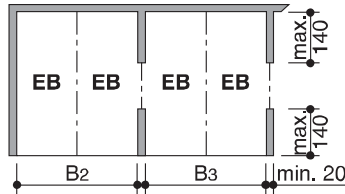
Columns in pit

Single Platform (EB)



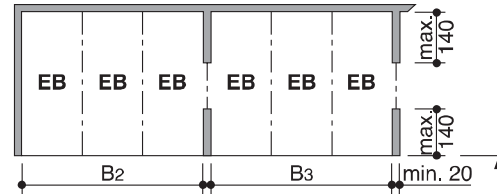
usable platform width	B2	B3
230	255	245
240	265	255
250	275	265
260	285	275
270	295	285

Double arrangement (2 x EB)



usable platform width	B2	B3
230	515	510
240	535	530
250	555	550
260	575	570
270	595	590

Tripple arrangement (3 x EB)

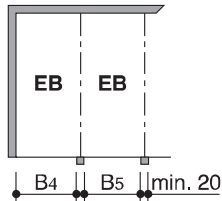


usable platform width	B2	B3
230	775	770
240	805	800
250	835	830
260	865	860
270	895	890

Carriageway in accordance with local regulations

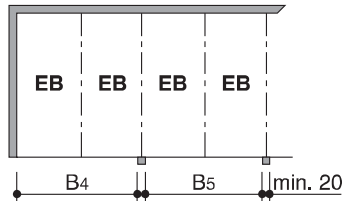
Columns outside pit

Single Platform (EB)



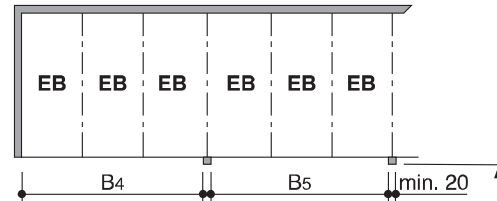
usable platform width	B4	B5
230	250	240
240	260	250
250	270	260
260	280	270
270	290	280

Double arrangement (2 x EB)



usable platform width	B4	B5
230	510	500
240	530	520
250	550	540
260	570	560
270	590	580

Tripple arrangement (3 x EB)



usable platform width	B4	B5
230	770	760
240	800	790
250	830	820
260	860	850
270	890	880

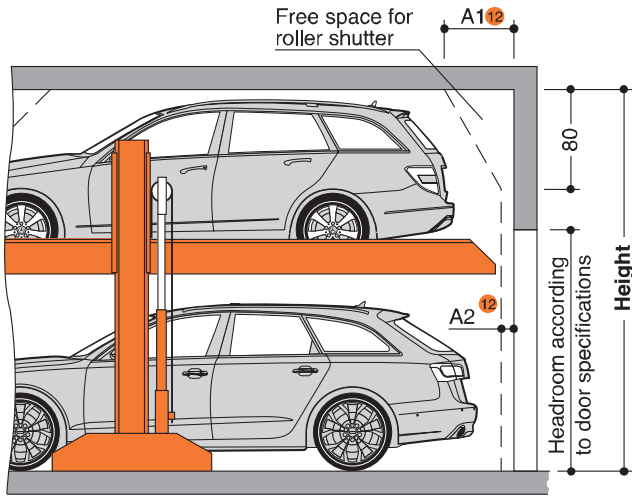
Carriageway in accordance with local regulations

! For parking boxes on the edges and boxes with intermediate walls we recommend our maximum platform width of 270 cm. Problems may occur if smaller platform widths are used (depending on car type, access and individual driving behaviour and capability).

For larger limousines and SUV wider driveways are necessary (in particular on the boxes on the sides due to the missing manoeuvring radius).

- Page 1
Section
Dimensions
Car data
- Page 2
Width dim.
without door
- Page 3
Width dim.
with door
Function
Approach
- Page 4
Load plan
Installation
- Page 5
Electrical
installation
Technical
data
- Page 6
To be performed by the
customer
Description

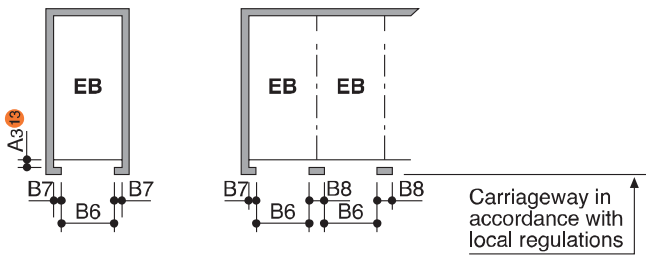
Garage with door



- 12** Dimensions A1, A2 and A3 must be coordinated with the door supplier (provided by the customer).
- 13** Seat-engaging surface (dimensions require coordination with door supplier.) Allround door dimensions require coordination between door supplier and local agency of KLAUS Multiparking.

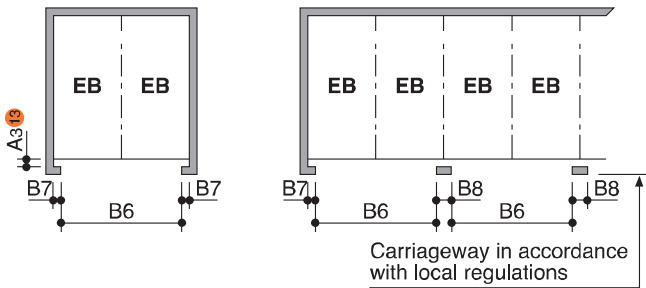
Width dimensions for garage with door

Single platform (EB)



usable platform width	door entrance width B6	B7	B8
230	230	15	30
240	240	15	30
250	250	15	30
260	260	15	30
270	270	15	30

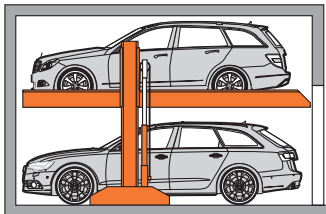
Double platform (DB)



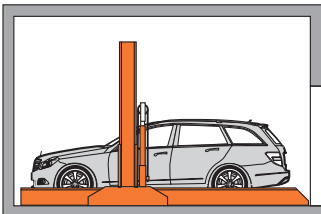
usable platform width	door entrance width B6	B7	B8
230	490	15	30
240	510	15	30
250	530	15	30
260	550	15	30
270	570	15	30

Function

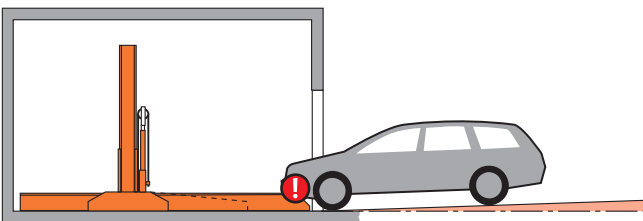
System lifted



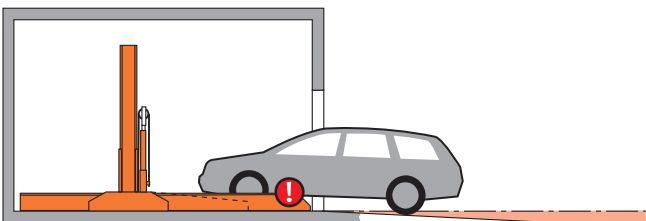
System lowered



Approach



maximum descending slope 4 %



maximum ascending slope 14 %

! The illustrated maximum approach angles must not be exceeded. Incorrect approach angles will cause serious manoeuvring & positioning problems on the parking system for which the local agency of KLAUS Multiparking accepts no responsibility.

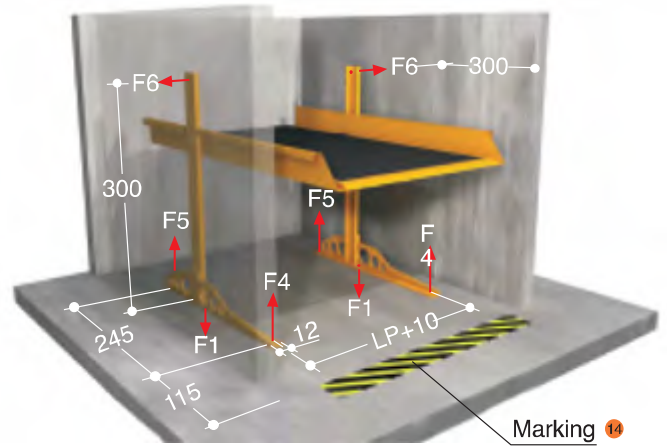
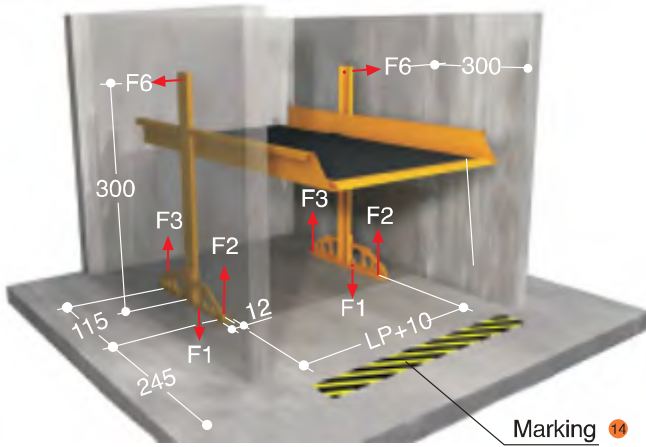
- Page 1
Section
Dimensions
Car data
- Page 2
Width dim.
without door
- Page 3
Width dim.
with door
Function
Approach
- Page 4
Load plan
Installation
- Page 5
Electrical
installation
Technical
data
- Page 6
To be performed by the customer
Description

Load plan

ATTACHMENT B

Option 1: short steel pillar base

Option 2: long steel pillar base



platform load	F1	F2	F3	F4	F5	F6	15
2000 kg	30	1,1	7,4	0,5	7,7	±1	
2500 kg	35	1,3	8,9	0,6	9,3	±1	

! The steel pillar base can be selected optionally (short or long). Please make sure to note the corresponding forces that apply!

Units are dowelled to the floor. Drilling depth: approx. 15 cm.

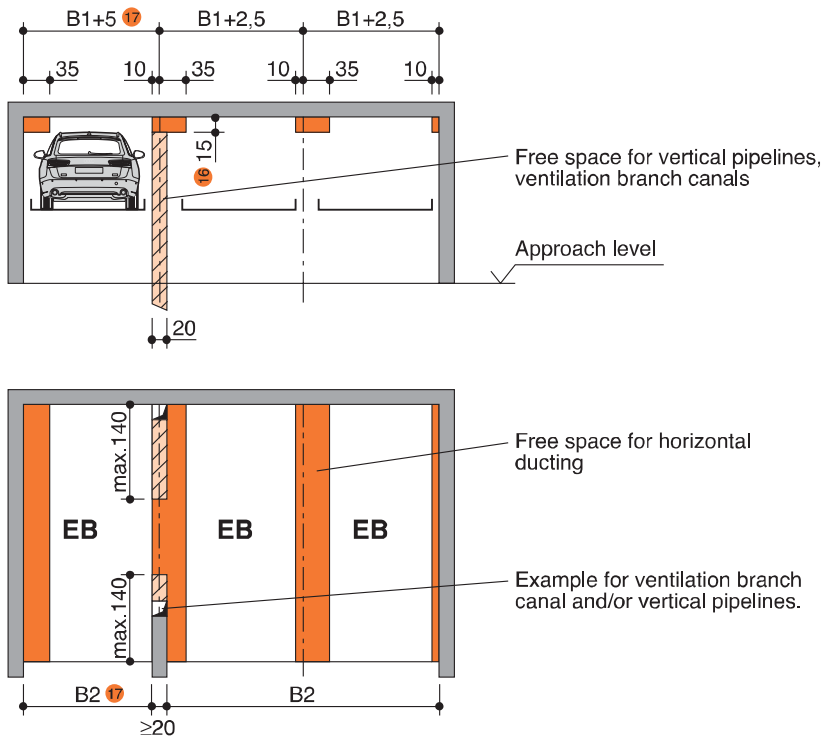
Floor and walls are to be made of concrete (quality minimum C20/25)!

The dimensions for the points of support are rounded values. If the exact position is required, please contact KLAUS Multiparking.

14 Marking compliant to ISO 3864 (colors used in this illustration are not ISO 3864 compliant)

15 All forces in kN

Installation data – Free space for longitudinal and vertical ducts (e.g. ventilation)



! Free space only applicable if vehicle is parked forwards = FRONT FIRST and driver's door on the left side.

16 Size 15 cm is reduced to 5 cm for type 2061-160.

17 Dimensions B1, B2 and B3 see page 2.

Page 1
Section
Dimensions
Car data

Page 2
Width dim.
without door

Page 3
Width dim.
with door
Function
Approach

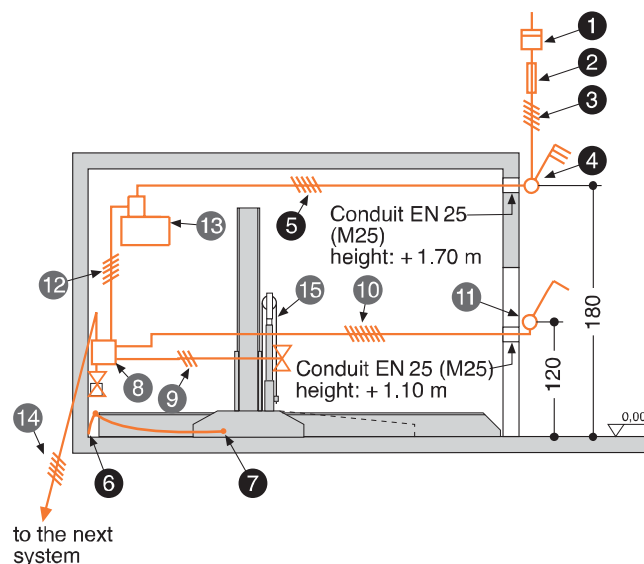
Page 4
Load plan
Installation

Page 5
Electrical
installation
Technical
data

Page 6
To be performed by the customer
Description

Electrical installation

Installation diagram



ATTACHMENT B

Electrical data (to be performed by the customer)

No.	Quantity	Description	Position	Frequency
1	1	Electricity meter	in the supply line	
2	1	Main fuse: 3 x fuse 16 A (slow) or circuit breaker 3 x 16 A (trigger characteristic K or C)	in the supply line	1 per unit
3	1	Supply line 5 x 2.5 mm ² (3 PH + N + PE) with marked wire and protective conductor	to main switch	1 per unit
4	1	Lockable main switch	defined at the plan evaluation	1 per unit
5	1	Supply line 5 x 2.5 mm ² (3 PH + N + PE) with marked wire and protective conductor	from main switch to unit	1 per unit
6	every 10 m	Foundation earth connector	corner pit floor	
7	1	Equipotential bonding in accordance with DIN EN 60204 from foundation earth connector to the system		1 per system

Electrical data (included in delivery of KLAUS Multiparking)

8	Terminal box
9	Control line 3 x 0.75 mm ² (PH + N + PE)
10	Control line 7 x 1.5 mm ² with marked wire and protective conductor
11	Operating device
12	Control line 5 x 1.5 mm ² with marked wire and protective conductor
13	Hydraulic unit 3.0 kW, three-phase current, 400 V / 50 Hz
14	Control line 5 x 1.5 mm ² with marked wire and protective conductor
15	Chain control

Technical data

Field of application

By default, the system can only be used for a fixed number of users.

If different users use the system – only on the upper parking spaces – (e.g. short-time parkers in office buildings or hotels) the Multiparking system needs to be adjusted. If required, would you please contact us.

Units

Low-noise power units mounted to rubber-bonded-to metal mountings are installed. Nevertheless we recommend that parking system's garage be built separately from the dwelling.

Available documents

- wall recess plans
- maintenance offer/contract
- declaration of conformity
- test sheet on airborne and slid-borne sound

Building application documents

According to LBO and GaVo (garage regulations) the Multiparking systems are subject to approval. We will provide the required building application documents.

Corrosion protection

See separate sheet regarding corrosion protection.

Care

To avoid damages resulting from corrosion, make sure to follow our cleaning and care instructions and to provide good ventilation of your garage.

Railings

If there are traffic routes next to or behind the installations, railings compliant to DIN EN ISO 13857 must be installed by the customer. Railings must also be in place during construction.

Environmental conditions

Environmental conditions for the area of multiparking systems: Temperature range –10 to +40° C. Relative humidity 50% at a maximum outside temperature of +40° C.

If lifting or lowering times are specified, they refer to an environmental temperature of +10° C and with the system set up directly next to the hydraulic unit. At lower temperatures or with longer hydraulic lines, these times increase.

CE Certification

The systems offered correspond to DIN EN 14010 and the EC Machinery Directive 2006/42/EG.

Sound insulation

According to DIN 4109 (Sound insulation in buildings), para. 4, annotation 4, KLAUS Multiparkers are part of the building services (garage systems).

Normal sound insulation:

DIN 4109, para. 4, Sound insulation against noises from building services.

Table 4 in para. 4.1 contains the permissible sound level values emitted from building services for personal living and working areas. According to line 2 the maximum sound level in personal living and working areas must not exceed 30 dB (A). *Noises created by users are not subject to the requirements (see table 4, DIN 4109).*

The following measures are to be taken to comply with this value:

- Sound protection package according to offer/order (KLAUS Multiparking GmbH)
- Minimum sound insulation of building $R'_w = 57$ dB (to be provided by customer)

Increased sound insulation (special agreement):

Draft DIN 4109-10, Information on planning and execution, proposals for increased sound insulation.

Agreement: Maximum sound level in personal living and working areas 25 dB (A). *Noises created by users are not subject to the requirements (see table 4, DIN 4109).*

The following measures are to be taken to comply with this value:

- Sound protection package according to offer/order (KLAUS Multiparking GmbH)
- Minimum sound insulation of building $R'_w = 62$ dB (to be provided by customer)

Note: User noises are noises created by individual users in our Multiparking systems. These can be noises from accessing the platforms, slamming of vehicle doors, motor and brake noises.

Page 1
Section
Dimensions
Car data

Page 2
Width dim.
without door

Page 3
Width dim.
with door
Function
Approach

Page 4
Load plan
Installation

Page 5
Electrical
installation
Technical
data

Page 6
To be performed by the customer
Description

To be performed by the customer

Safety fences

Any constraints that may be necessary according to DIN EN ISO 13857 in order to provide protection, for pathways directly in front, next to or behind the unit. This is also valid during construction.

Numbering of parking spaces

Consecutive numbering of parking spaces.

Building services

Any required lighting, ventilation, fire extinguishing and fire alarm systems as well as clarification and compliance with the relevant regulatory requirements.

Marking

According to DIN EN 14 010, a warning that identifies this danger area must be placed in the entrance area that conforms to ISO 3864. This must be done according to EN 92/58/EWG for systems without a pit 10 cm from the edge of the platform.

Wall cuttings

Any necessary wall cuttings according to page 1.

Electrical supply to the main switch / Foundation earth connector

Suitable electrical supply to the main switch and the control wire line must be provided by the customer during installation. The functionality can be monitored on site by our fitters together with the electrician. If this cannot be done during installation for some reason for which the customer is responsible, the customer must commission an electrician at their own expense and risk.

In accordance with DIN EN 60204 (Safety of Machinery. Electrical Equipment), grounding of the steel structure is necessary, provided by the customer (distance between grounding max. 10 m).

Description Single platform (EB)

General description

Multiparking system providing dependent parking spaces for 2 cars one on top of the other each. The lower vehicle parks directly on the floor plate. The vehicle parked on the bottom must be driven out before lowering the platform.

The height of the platform can be adjusted flexibly (even subsequently).

Adjustment of maximum load of 2,500 kg can be made subsequently. Dimensions are in accordance with the underlying dimensions of parking pit, height and width

The parking bays are accessed horizontally (installation deviation $\pm 1\%$).

Vehicles are positioned on the upper parking space using wheel stops on the right side (adjust according to operating instructions).

Operation via operating device with hold-to-run-device using master keys.

The operating elements are usually mounted either in front of the column or on the outside of the door frame

Operating instructions are attached to each operator's stand.

For garages with doors at the front of the parking system the special dimensional requirements have to be taken into account.

Multiparking system consisting of:

- 2 steel pillars with bases that are mounted on the floor (short or long steel pillar bases can be selected optionally).
- 2 sliding platforms (mounted to the steel pillars with sliding bearings)
- 1 platform
- 1 mechanic synchronization control system (to ensure synchronous operation of the hydraulic cylinders while lowering and lifting the platform)
- 1 hydraulic cylinder
- 1 automatic hydraulic safety valve (prevents accidental lowering of the platform while accessing the platform)
- Dowels, screws, connecting elements, bolts, etc.
- The platforms and parking spaces are end-to-end accessible for parking!

We reserve the right to change this specification without further notice

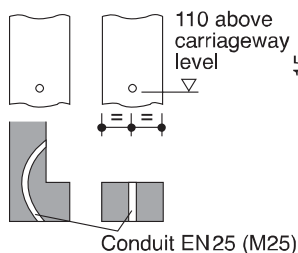
KLAUS Multiparking reserves the right in the course of technical progress to use newer or other technologies, systems, processes, procedures or standards in the fulfillment of their obligations other than those originally offered provided the customer derives no disadvantage from their so doing.

ATTACHMENT B

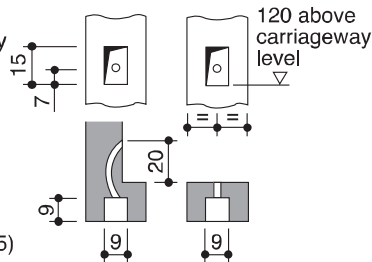
Operating device

Cable conduits and recesses for operating device (for double wing doors: please contact the local agency of KLAUS Multiparking).

Operating device exposed



Operating device concealed



If the following are not included in the quotation, they will also have to be provided / paid for by the customer:

- Mounting of contactor and terminal box to the wall valve, complete wiring of all elements in accordance with the circuit diagram
- Costs for final technical approval by an authorized body
- Main switch
- Control line from main switch to hydraulic unit

Platforms consisting of:

- Platform base sections
- Adjustable wheel stops
- Canted access plates
- Side members
- Cross members
- Screws, nuts, washers, distance tubes, etc.

Hydraulic system consisting of:

- Hydraulic cylinder
- Solenoid valve
- Safety valve
- Hydraulic conduits
- Screwed joints
- High-pressure hoses
- Installation material

Electric system consisting of:

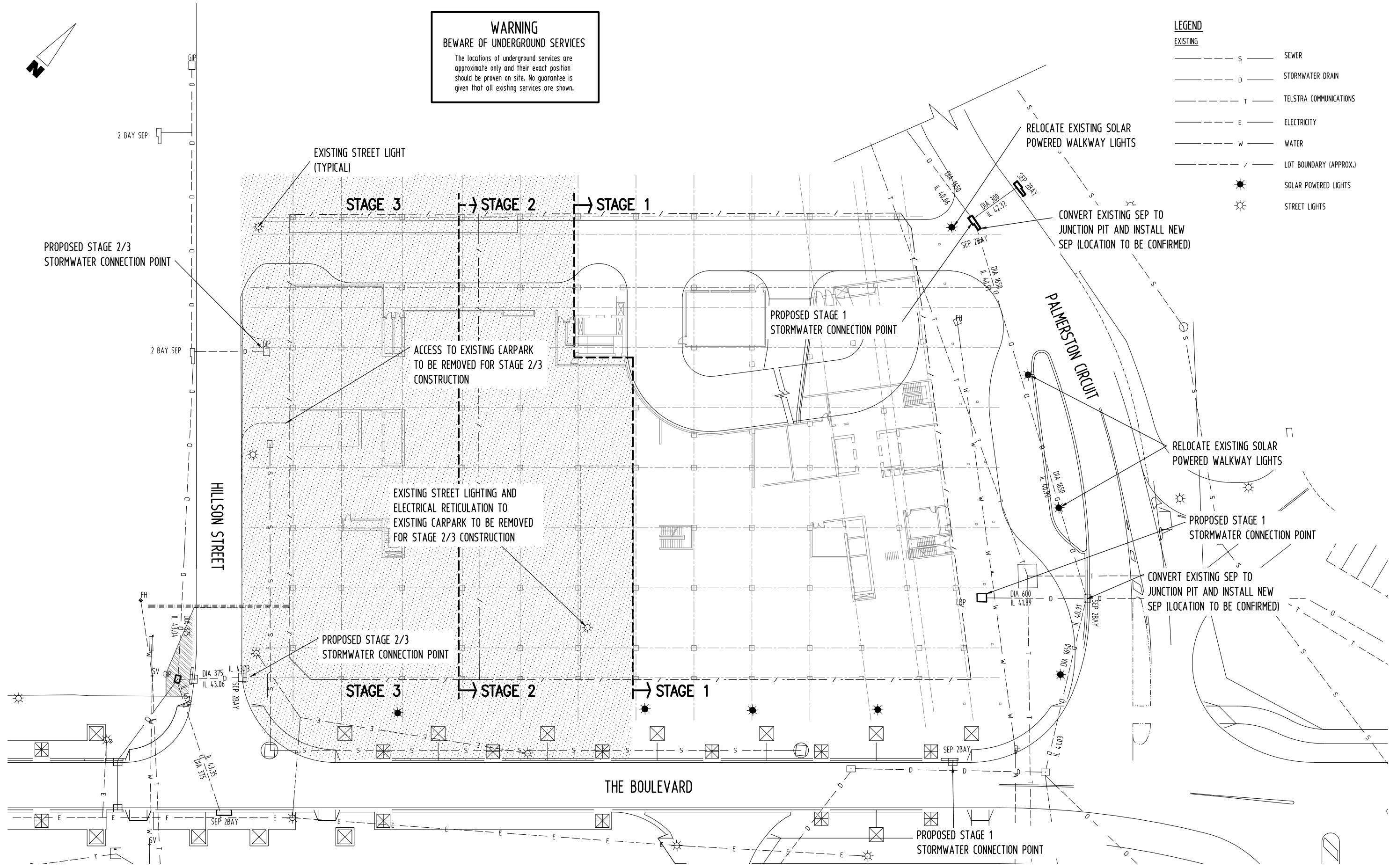
- Operating device (Emergency Stop, lock, 1 master key per parking space)
- Terminal box at wall valve
- Electrical locking device
- Chain control

Hydraulic unit consisting of:

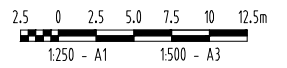
- Hydraulic power unit (low-noise, installed onto a console with a rubber-bonded-to-metal mounting)
- Hydraulic oil reservoir
- Oil filling
- Internal geared wheel pump
- Pump holder
- Clutch
- 3-phase-AC-motor
- Contactor (with thermal overcurrent relay and control fuse)
- Test manometer
- Pressure relief valve
- Hydraulic hoses (which reduce noise transmission onto the hydraulic pipe)

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.

- LEGEND**
- EXISTING**
- S — SEWER
 - D — STORMWATER DRAIN
 - T — TELSTRA COMMUNICATIONS
 - E — ELECTRICITY
 - W — WATER
 - - - - LOT BOUNDARY (APPROX.)
 - ☀ SOLAR POWERED LIGHTS
 - ☀ STREET LIGHTS



PRELIMINARY



NO	DATE	INITIAL	AMENDMENT
D	25/03/15	JK	DRAWING TITLE AMENDED, ISSUED FOR INFORMATION
C	20/03/15	P.W	ISSUED FOR INFORMATION
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

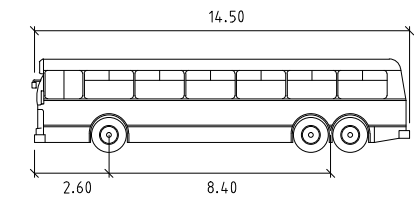
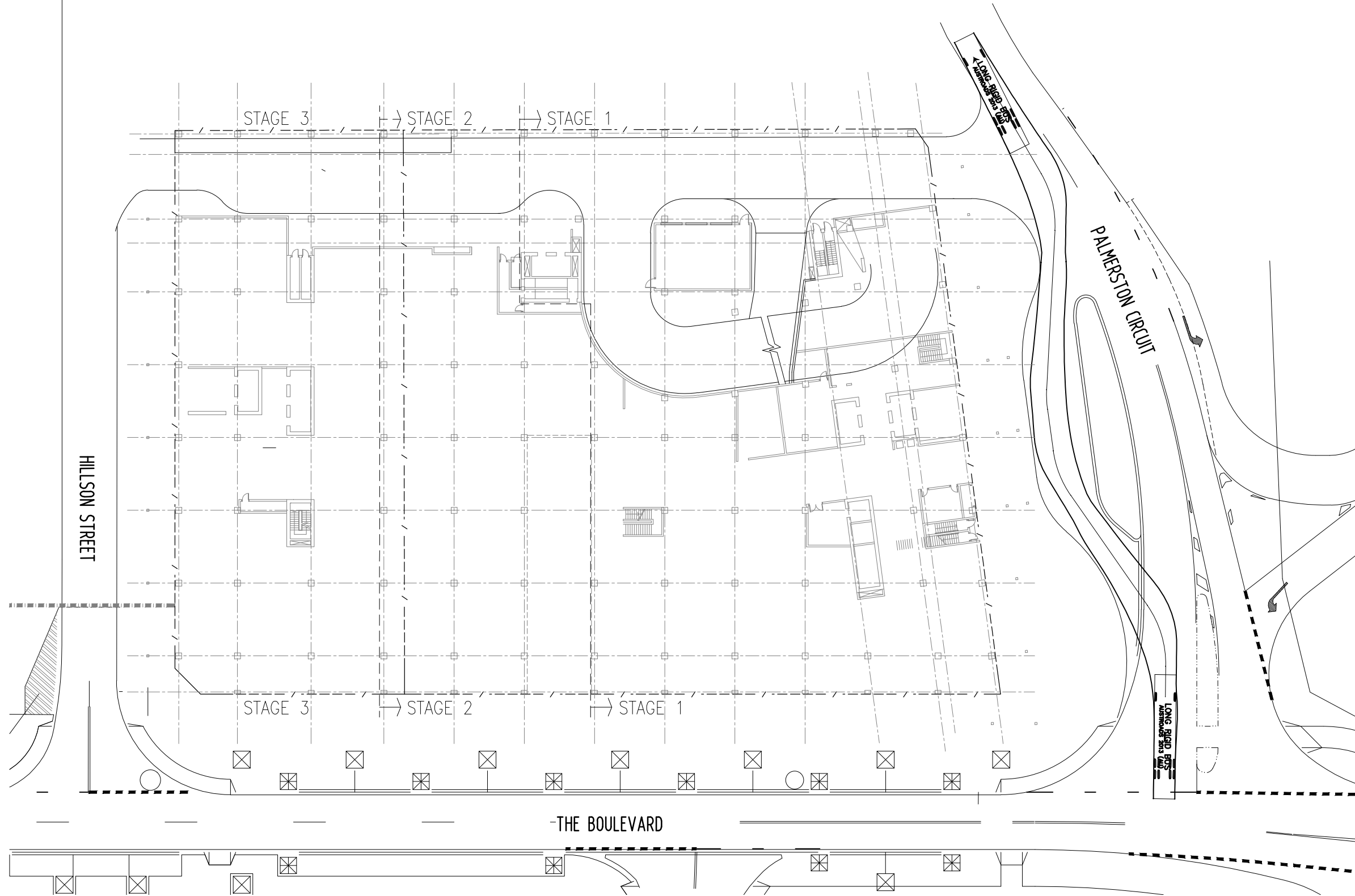
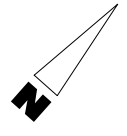
CLIENT

Randazzo/PNLP
Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

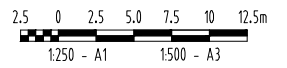
APPROVED	
DRAWN	CHECKED
JK	PB
DESIGNED	CHECKED
P.W	PB

TITLE			
LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON			
GENERAL ARRANGEMENT			
AND STORMWATER CONNECTIONS			
SCALE	PROJECT No	DRAWING No	AMDT
AS SHOWN	14070	14070-SK01	D



LONG RIGID BUS meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 46.4

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
D	25/03/15	JK	DRAWING TITLE AMENDED, ISSUED FOR INFORMATION
C	20/03/15	P.W	ISSUED FOR INFORMATION
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

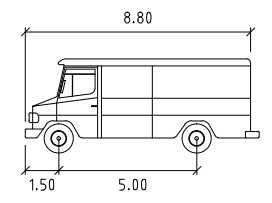
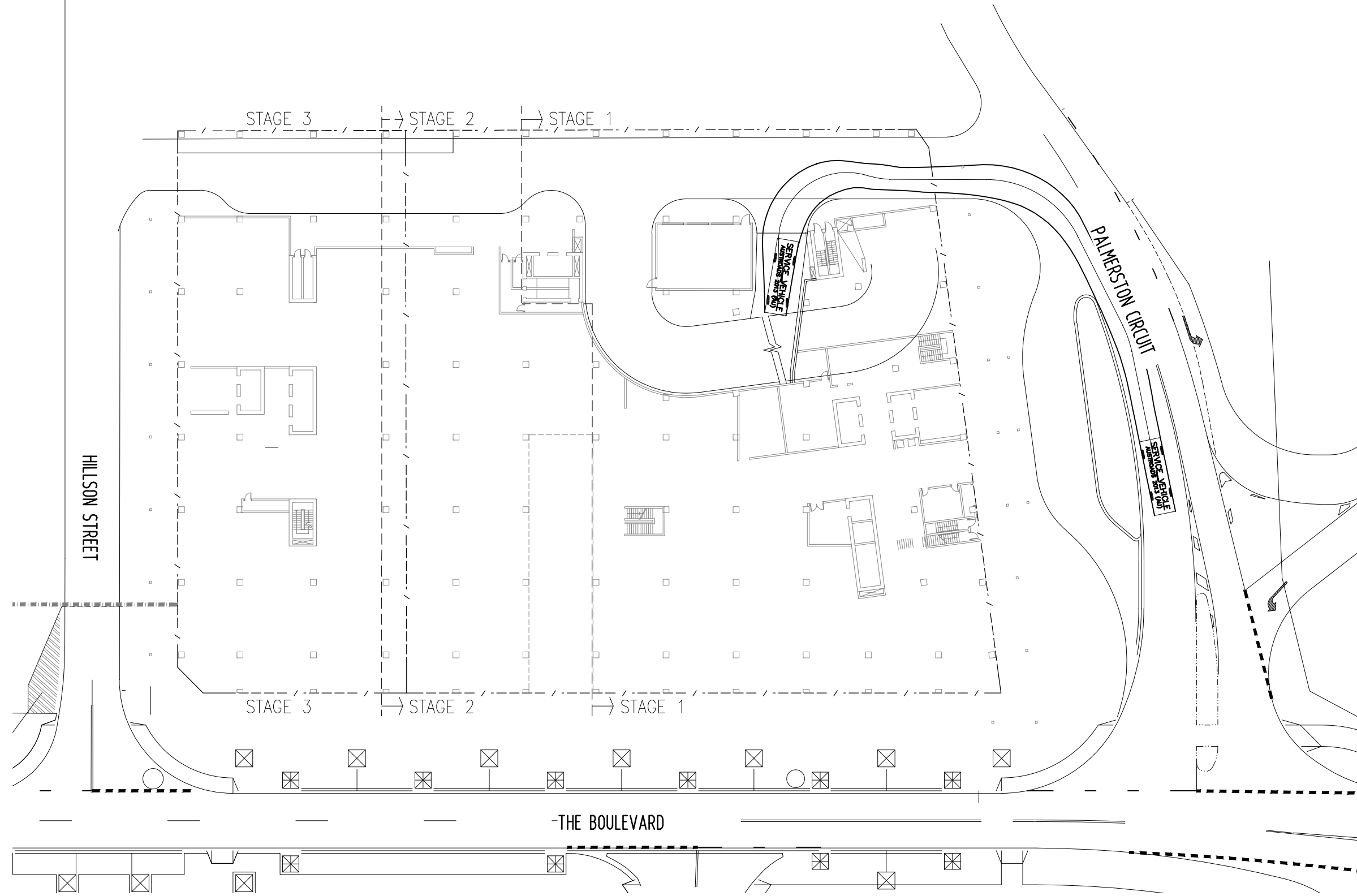
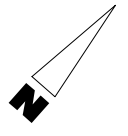
CLIENT

Randazzo/PNLP
Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

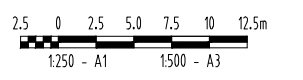
APPROVED	
DRAWN JK	CHECKED PB
DESIGNED P.W	CHECKED PB

TITLE			
LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON			
TURNING PATHS			
14.5m COACH			
SCALE	PROJECT No	DRAWING No	AMDT
AS SHOWN	14070	14070-SK02	D



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
D	25/03/15	JK	DRAWING TITLE AMENDED, ISSUED FOR INFORMATION
C	20/03/15	P.W	ISSUED FOR INFORMATION
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

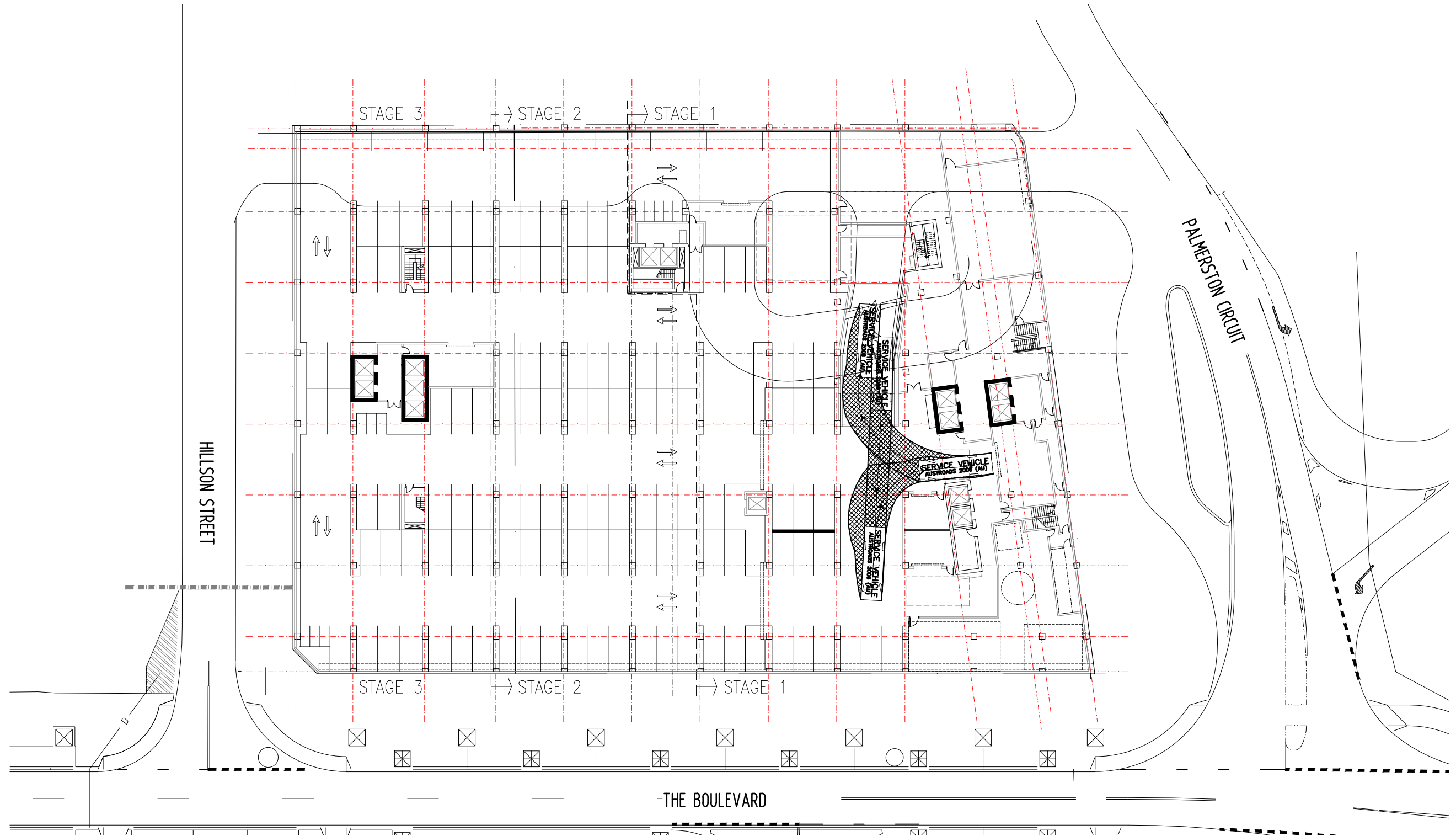
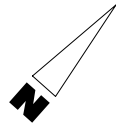
CLIENT

Randazzo/PNLP
Developers

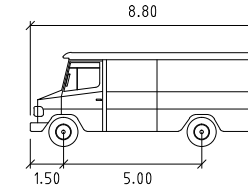
byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

APPROVED	
DRAWN JK	CHECKED PB
DESIGNED P.W	CHECKED PB

TITLE		SCALE		PROJECT No		DRAWING No		AMDT	
LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON		AS SHOWN		14070		14070-SK03		D	
TURNING PATHS - GROUND FLOOR									
9m SERVICE VEHICLE									

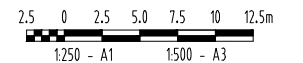


PRELIMINARY



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



No	DATE	INITIAL	AMENDMENT
D	25/03/15	JK	DRAWING TITLE AMENDED, ISSUED FOR INFORMATION
C	20/03/15	P.W	ISSUED FOR INFORMATION
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

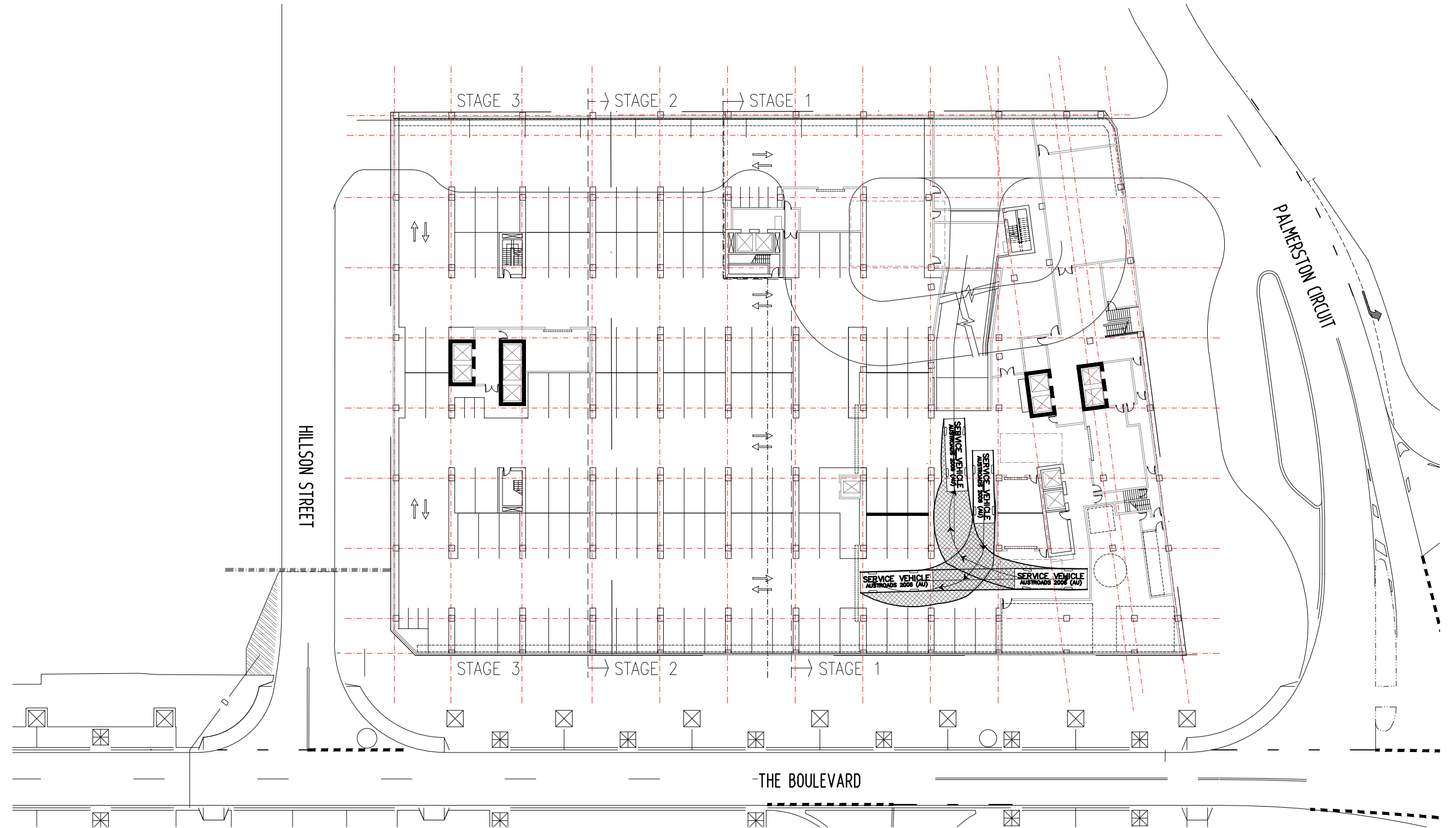
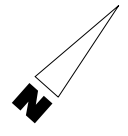
COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT
Randazzo/PNLP
 Developers

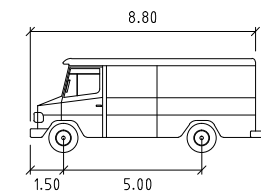
byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

APPROVED	
DRAWN JK	CHECKED PB
DESIGNED P.W	CHECKED PB

TITLE			
LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON			
TURNING PATHS - BASEMENT			
9m SERVICE VEHICLE		SHEET 1 OF 2	
SCALE	PROJECT No	DRAWING No	AMDT
AS SHOWN	14070	14070-SK04	D

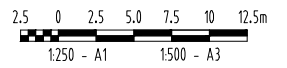


PRELIMINARY



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



No	DATE	INITIAL	AMENDMENT
D	25/03/15	JK	DRAWING TITLE AMENDED, ISSUED FOR INFORMATION
C	20/03/15	P.W	ISSUED FOR INFORMATION
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

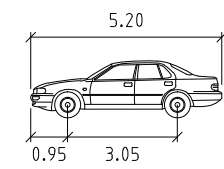
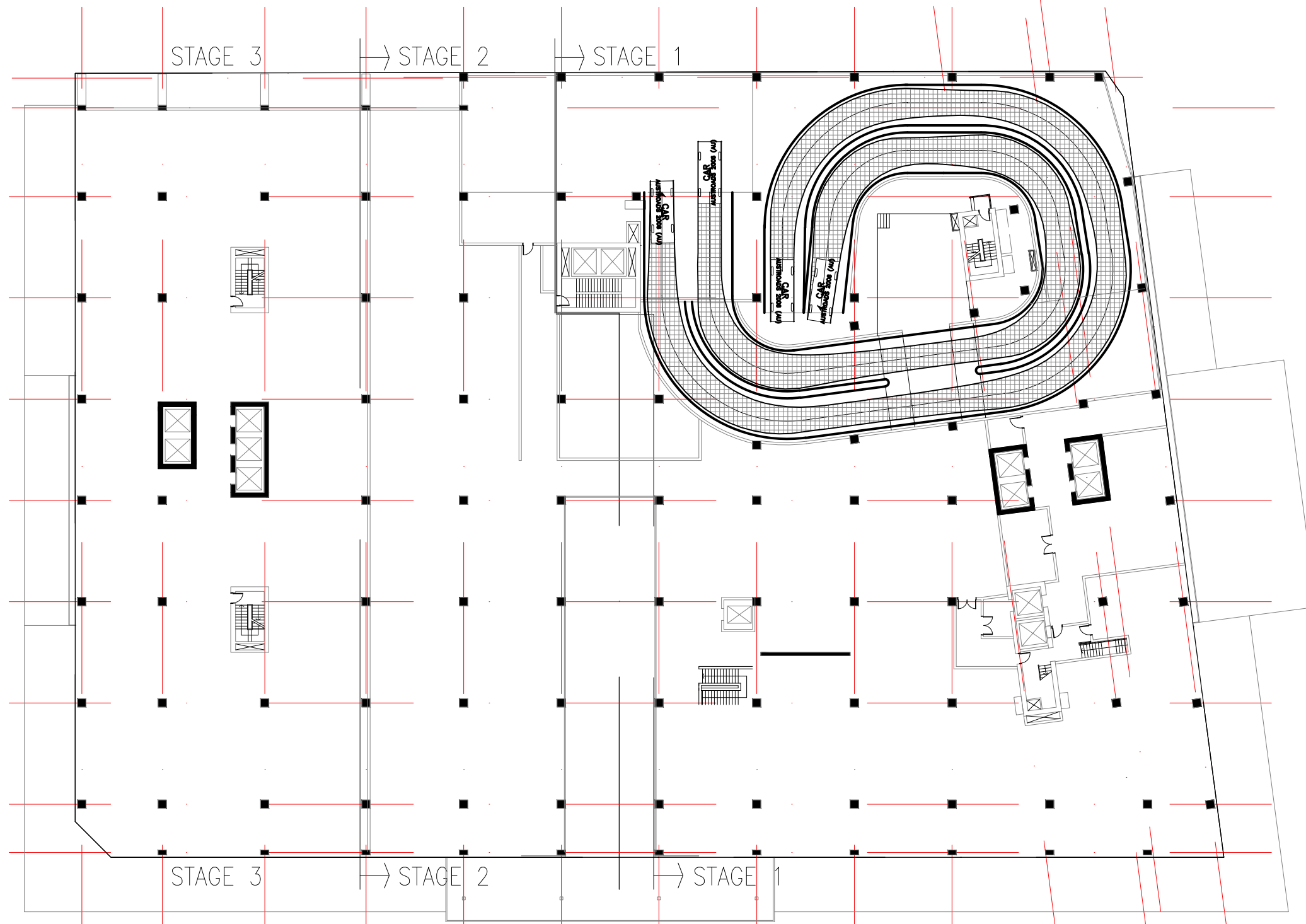
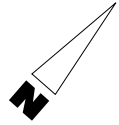
COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT
Randazzo/PNLP
 Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

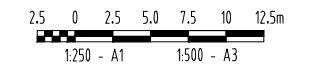
APPROVED		TITLE	
DRAWN	JK	CHECKED	PB
DESIGNED	P.W	CHECKED	PB

TITLE		SCALE	PROJECT No	DRAWING No	AMDT
LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON		AS SHOWN	14070	14070-SK05	D
TURNING PATHS - BASEMENT					
9m SERVICE VEHICLE					
SHEET 2 OF 2					



PASSENGER-CAR meters
 Width : 1.94
 Track : 1.84
 Lock to Lock Time : 6.0
 Steering Angle : 33.6

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
A	26/03/2015	P.W	ISSUED FOR INFORMATION

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT
**Randazzo/PNLP
 Developers**

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

APPROVED		TITLE	LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON RAMP (GROUND FLOOR TO LEVEL 2) PASSENGER VEHICLE - CAR SHEET 1 OF 1		
DRAWN	JK	CHECKED	PB	SCALE	AS SHOWN
DESIGNED	P.W	CHECKED	PB	PROJECT No	14070
				DRAWING No	14070-SK06
				AMDT	A

APPROVED		TITLE	LOT 10026 (12825A) AND PART LOT 9635, PALMERSTON RAMP (GROUND FLOOR TO LEVEL 2) PASSENGER VEHICLE - CAR SHEET 1 OF 1		
DRAWN	JK	CHECKED	PB	SCALE	AS SHOWN
DESIGNED	P.W	CHECKED	PB	PROJECT No	14070
				DRAWING No	14070-SK06
				AMDT	A



Meeting Minutes

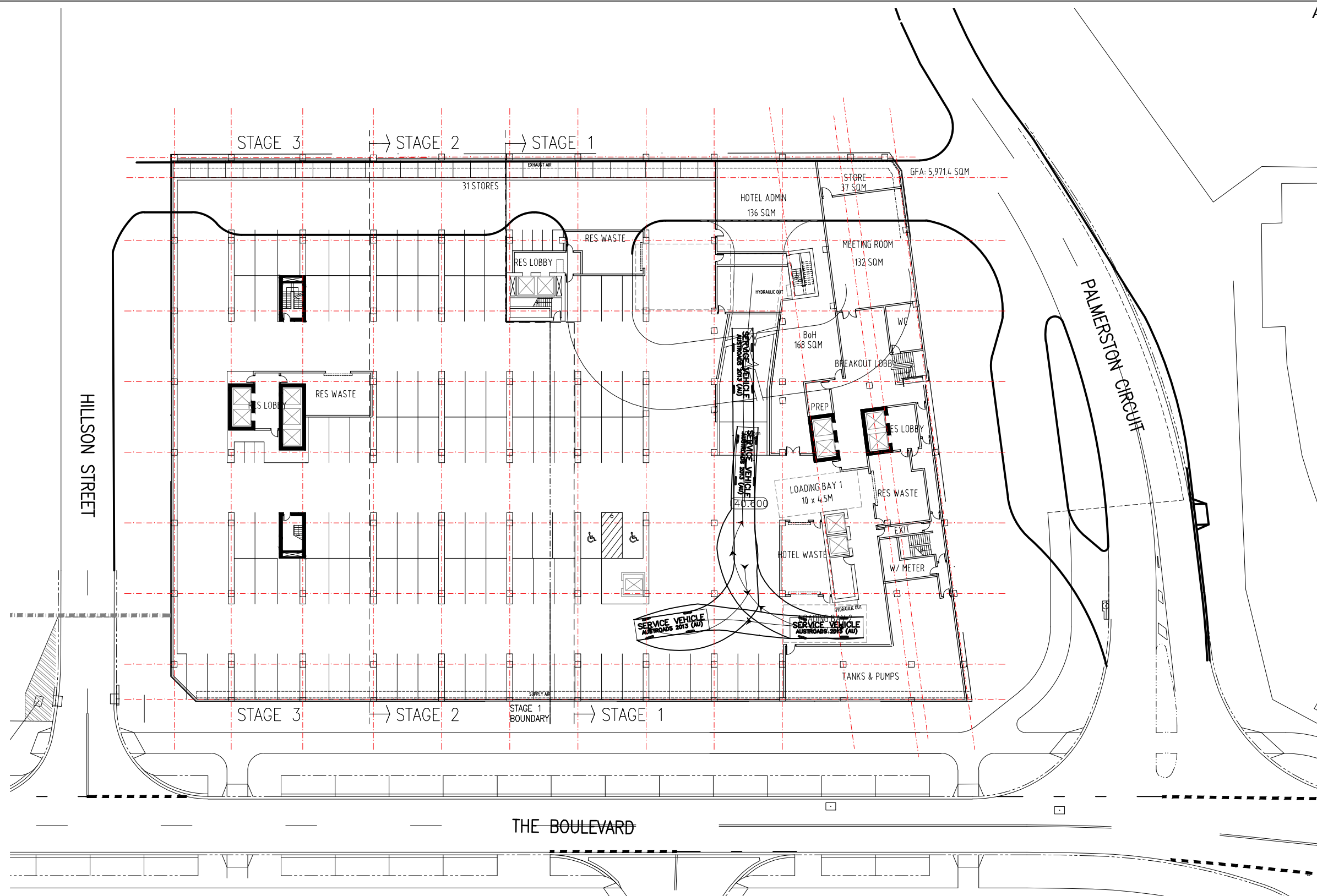
Date:	25-Feb-15	Time:	11:00am
Location:	Palmerston City Council Offices		
Project Name:	Palmerston 'Superblock' Development		
Project Number:	14070		
Subject:	Access and Stormwater Planning		
Attendees:	Byrne Design (BDD) – Paul Brandis (PB) Palmerston City Council (PCC) – Michael Staunton (MS), Jeetendra Dahal (JD)		
Apologies:	-		
ITEM NO.	ITEM	ACTION	DATE
1.0	General		
1.1	<p>This meeting is to discuss the Access and Stormwater Plans for the Palmerston 'Superblock' Development (Proposed Lot 12297).</p> <p>Items to be discussed:</p> <ul style="list-style-type: none"> • Proposed Stormwater Management and connection with existing infrastructure. • Lot Access and Connections with existing roads. • Vehicle Access for Public Buses. • Waste Collection Facilities and associated Vehicle Access. <p>Refer attached Sketches discussed in the meeting (14070-SK01 to 14070-SK05).</p>	Note	-
1.2	PCC noted they will not provide Concept Approval; however they will provide feedback on proposed options and highlight items that need to be considered.	Note	-
2.0	Land Allocation		
2.1	<p>PCC noted the subdivision of land to create Lot 12297 has not been approved. Three Parcels of Land currently exist (Lots 9635, 10025 and 10026). PCC noted Lot 9635 is currently leased by PCC and they are to have continued use of this Lot for a period of 2 years.</p> <p><u>Post-Meeting Note:</u> Consent has been provided for the subdivision of Lot 10026 to create Lot 12825 (refer attached plan). It is the intention of the developer that the balance of Lot 10026 will be used for laydown during construction. It is the intention of the developer to consolidate Lot 12825 with part Lot 9635 and the balance of Lot 10026 will be consolidated with Lot 10025 and part Lot 9635 in due course.</p>	Note	-



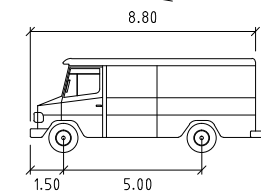
3.0	Stormwater Management		
3.1	<p>PCC noted stormwater may be connected to any part of the existing network as identified, subject to the following conditions;</p> <ul style="list-style-type: none"> i) All stormwater for the minor event (ARI 10yrs) must be contained within the Property Boundary and discharged underground to connect with the existing infrastructure. Q100 Flows are to be retained within the Road Reserve. ii) As part of the Application for Development Consent, it must be proven that the existing drainage infrastructure has sufficient capacity to receive increased flow rates for the minor event from the proposed development. Detailed calculations must be provided supporting the Stormwater management strategy for Q10 and Q100 Flows. iii) Downpipes cannot be located within the Road Reserve. iv) Grated Inlet Pits are not acceptable. Existing Side Entry Pits that clash with proposed Access Points must be relocated. 	Note	-
3.2	BDD asked if it would be permissible for clean construction water to be discharged via the existing drain running along the Eastern Edge of Lot 9635. PCC said this may be accepted, provided that the downstream Lots remains as Crown Land and is not purchased by another developer.	Note	-
3.3	PCC to provide information on existing drainage infrastructure and other services where available.	MS	10/03/15
3.0	Access		
3.1	<p>PCC noted concerns with access onto Hillson St as it is a 'minor' road. BDD to confirm the proposed access meets the Planning Scheme and check road geometry, turn paths, site distance etc.</p> <p><u>Post-Meeting Note:</u> The access onto Hillson St is intended to be for Light Vehicles only.</p>	PB	-
3.2	PCC noted a Traffic Impact Assessment would need to be completed and submitted with the Development Consent Application. PCC could provide no comment on the suitability of the proposed Porte-Cochere location.	Note	-



3.3	<p>Turning Paths of Coaches and Service Vehicles were discussed. Coach travel paths should be maintained on the correct side of the road. Some flexibility can be applied for Service Vehicle Access given the number of traffic movements expected; however this should be subject to a risk assessment. BDD to update access geometry.</p> <p><u>Post-Meeting Note:</u> The internal road connecting Palmerston Circuit with Hillson St will receive no Coach Traffic, contrary to the illustrations in the attached Turn Path diagrams.</p>	PB	-
<p>Meeting closed: 12noon Next meeting: TBC</p>			

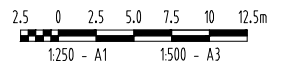


PRELIMINARY



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



No	DATE	INITIAL	AMENDMENT
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

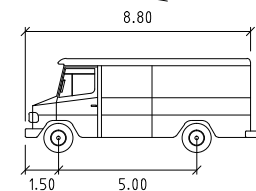
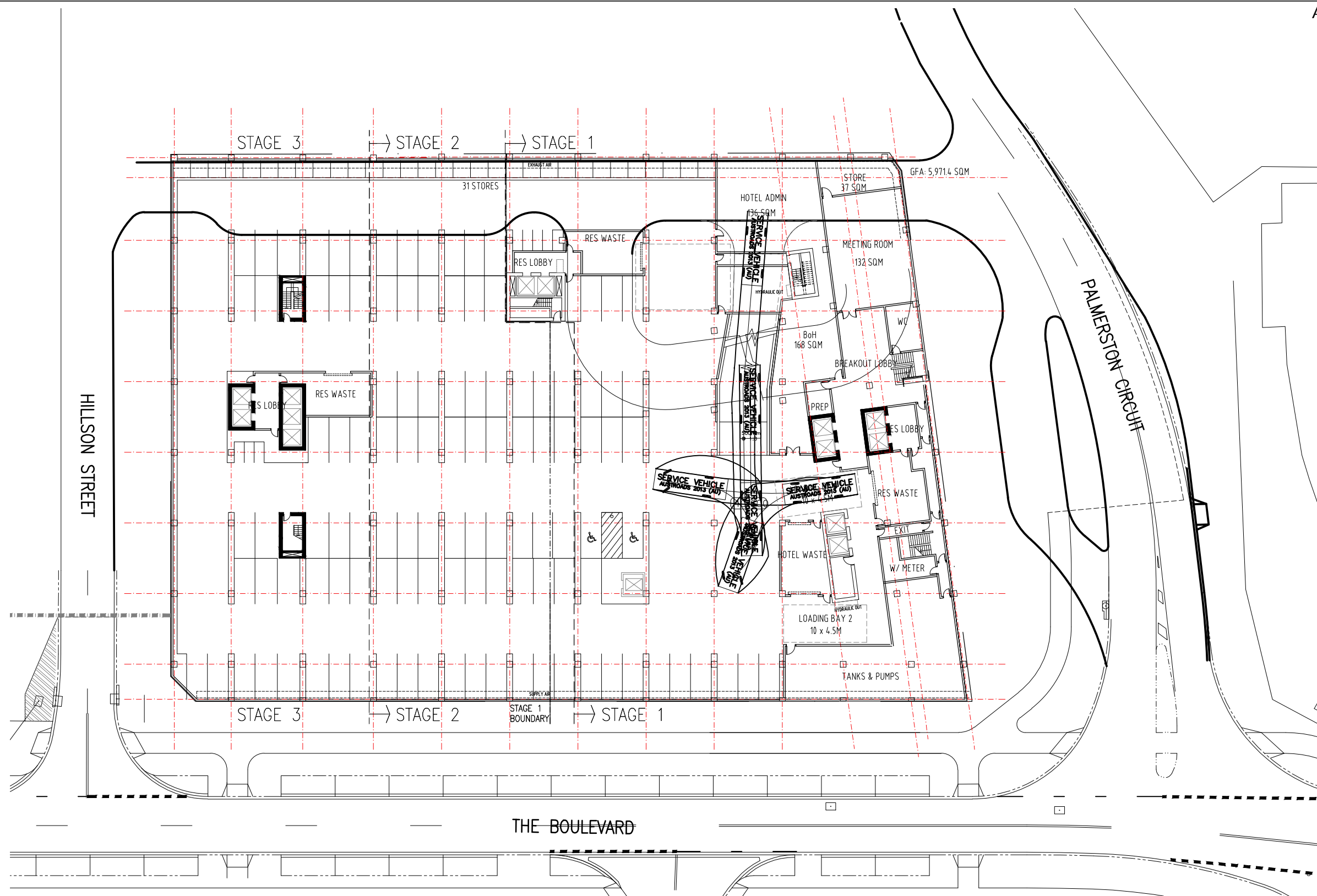
COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT
Randazzo/PNLP
 Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

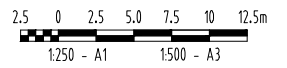
APPROVED	
DRAWN	JK
CHECKED	PB
DESIGNED	PB
CHECKED	PB

TITLE	LOT 12297, PALMERSTON
	TURNING PATHS - BASEMENT
	9m SERVICE VEHICLE
	SHEET 2 OF 2
SCALE	AS SHOWN
PROJECT No	14070
DRAWING No	14070-SK05
AMDT	B



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

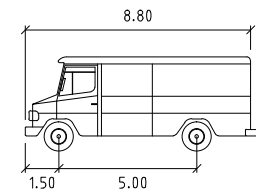
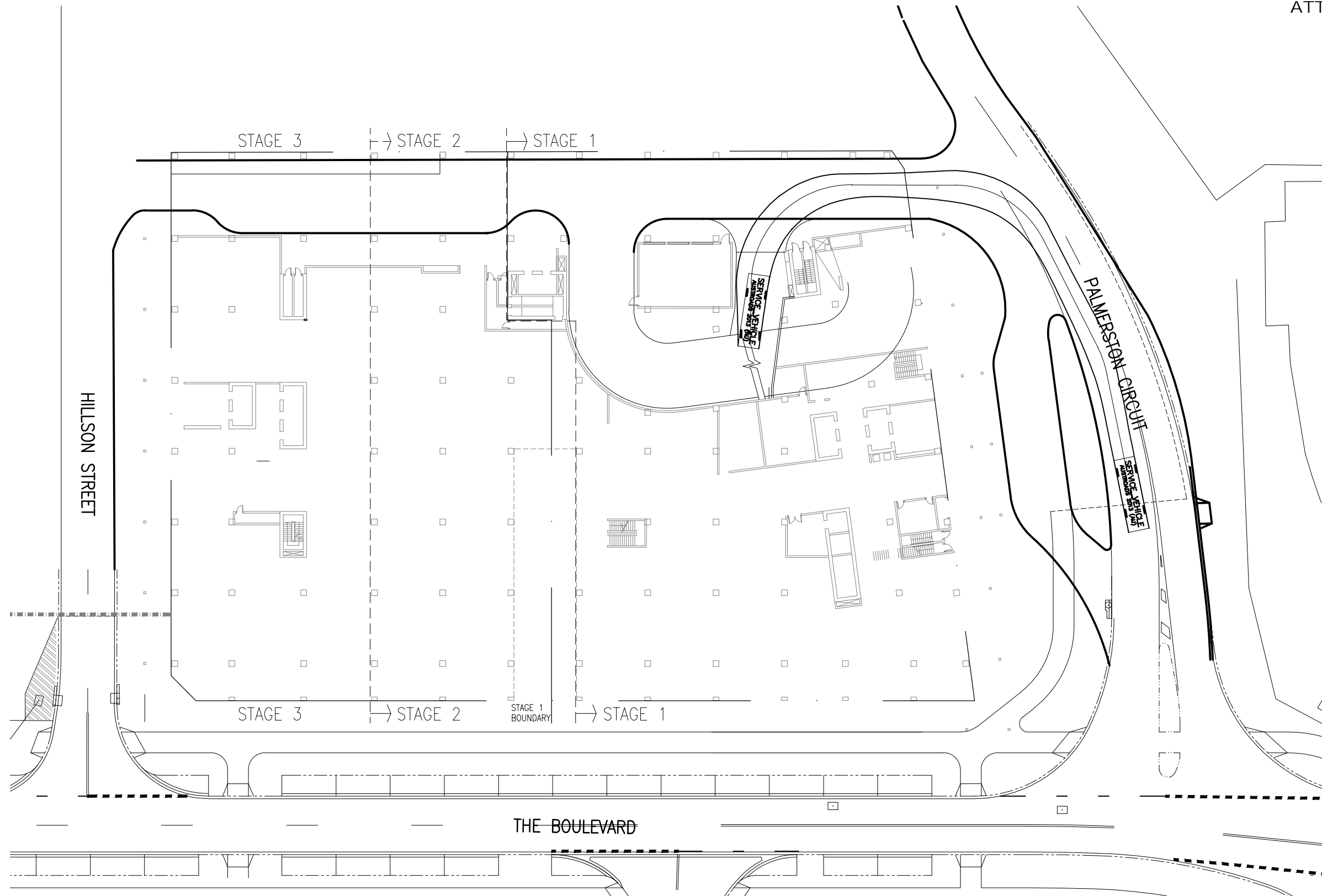
CLIENT

Randazzo/PNLP
 Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

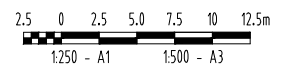
APPROVED	DESIGNED	CHECKED
JK	PB	PB

TITLE	SCALE	PROJECT No	DRAWING No	AMDT
LOT 12297, PALMERSTON TURNING PATHS - BASEMENT 9m SERVICE VEHICLE	AS SHOWN	14070	14070-SK04	B



SERVICE VEHICLE meters
 Width : 2.50
 Track : 2.50
 Lock to Lock Time : 6.0
 Steering Angle : 38.7

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
A	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

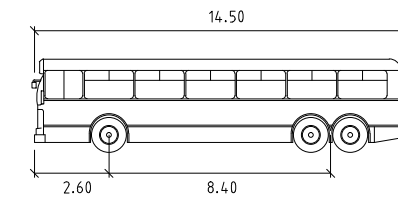
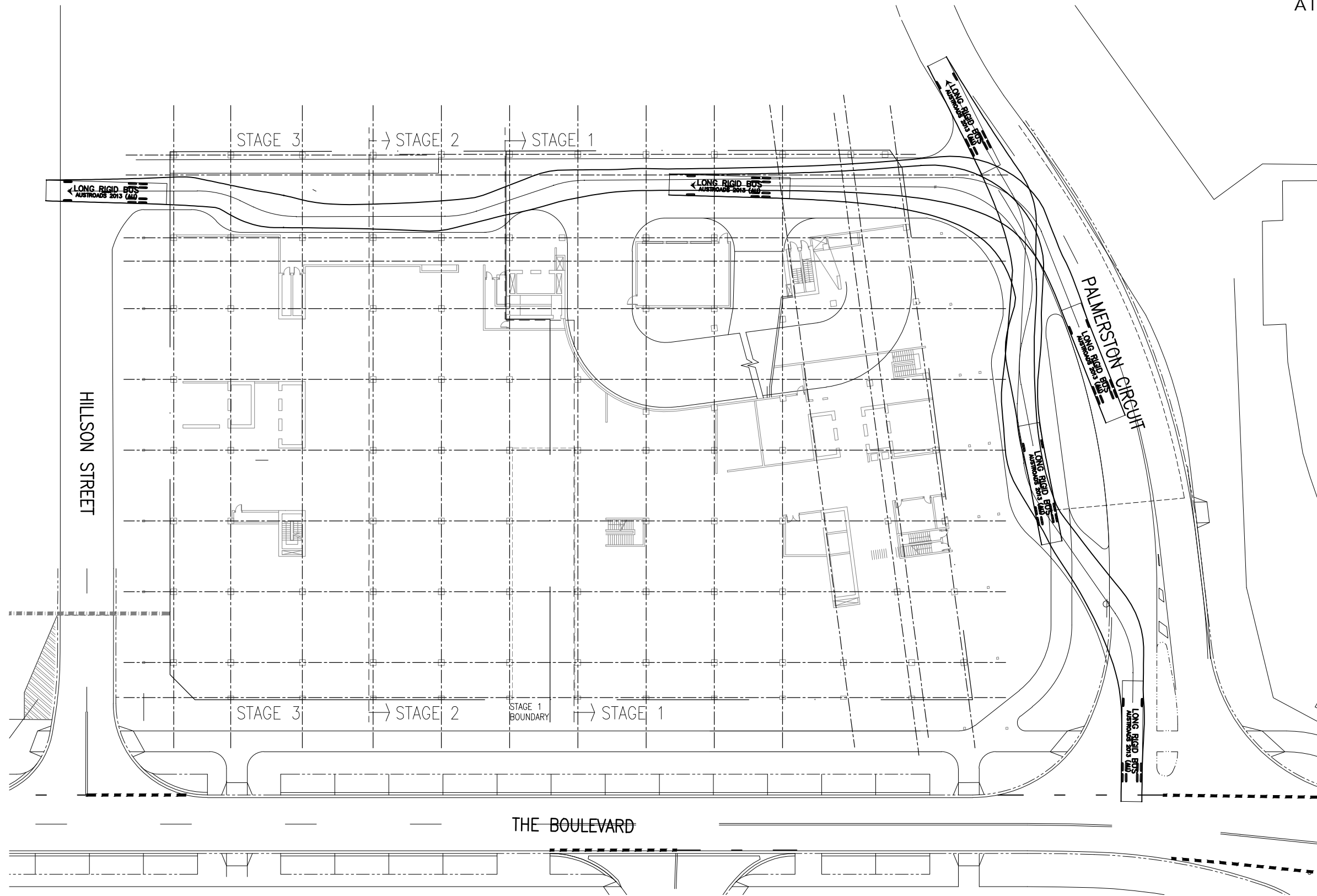
COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT
Randazzo/PNLP
Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

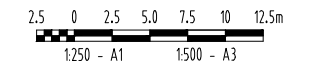
APPROVED	TITLE	
DRAWN JK	CHECKED PB	LOT 12297, PALMERSTON
DESIGNED PB	CHECKED PB	TURNING PATHS - GROUND FLOOR
		9m SERVICE VEHICLE

SCALE	PROJECT No	DRAWING No	AMDT
AS SHOWN	14070	14070-SK03	B



LONG RIGID BUS		meters
Width	:	2.50
Track	:	2.50
Lock to Lock Time	:	6.0
Steering Angle	:	46.4

WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.



PRELIMINARY

No	DATE	INITIAL	AMENDMENT
B	23/02/15	JK	ISSUED FOR REVIEW
A	17/02/15	JK	ISSUED FOR COMMENT

COPYRIGHT
 The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.

CLIENT

Randazzo/PNLP
 Developers

byrne design
 ABN 78 124 388 192
 P.O.Box 43420 Casuarina NT 0811
 Ph. 08 89472476 Fax: 08 89475098

APPROVED	
DRAWN JK	CHECKED PB
DESIGNED PB	CHECKED PB

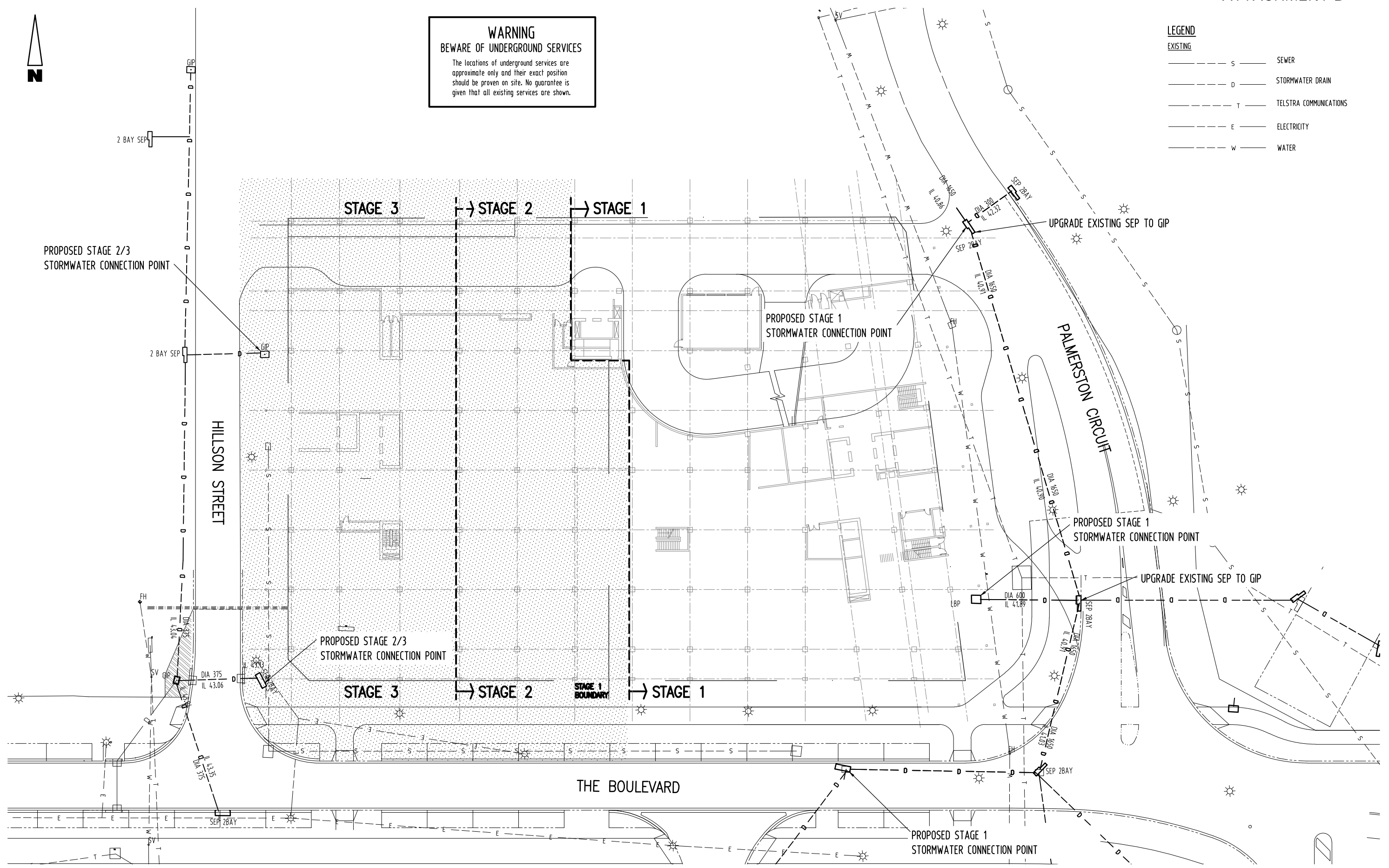
TITLE	LOT 12297, PALMERSTON TURNING PATHS 14.5m COACH		
SCALE	AS SHOWN	PROJECT No	14070
DRAWING No	14070-SK02	AMDT	B



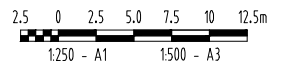
WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.

LEGEND

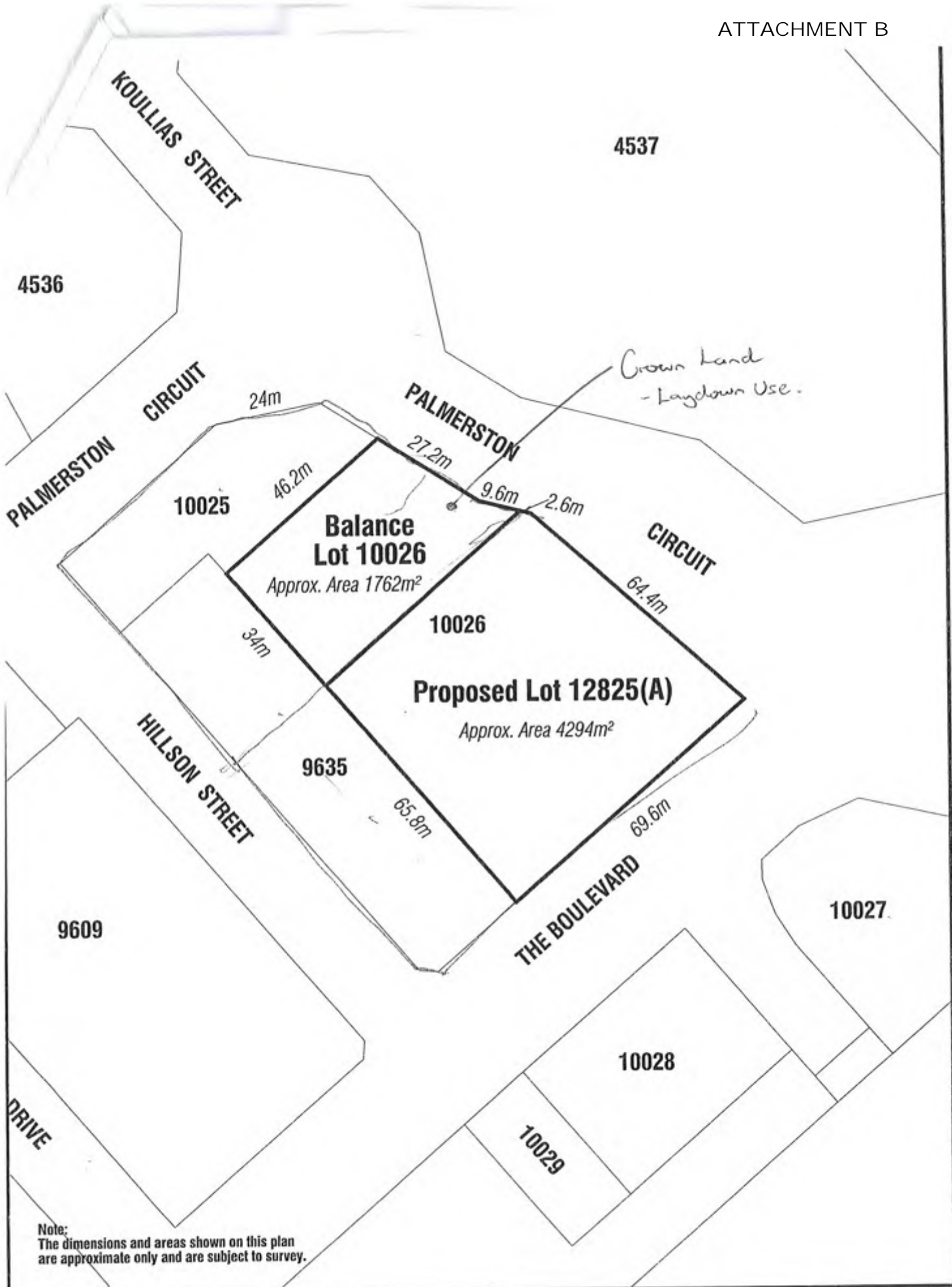
EXISTING	
---	SEWER
---	STORMWATER DRAIN
---	TELSTRA COMMUNICATIONS
---	ELECTRICITY
---	WATER



PRELIMINARY



<p>COPYRIGHT The concepts and information contained in this document are the copyright of BYRNE DESIGN. Use or copying of the document in whole or in part without the written permission of BYRNE DESIGN constitutes an infringement of copyright.</p>		<p>CLIENT Randazzo/PNLP Developers</p>		<p>APPROVED</p> <table border="1"> <tr> <td>DRAWN</td> <td>JK</td> <td>CHECKED</td> <td>PB</td> </tr> <tr> <td>DESIGNED</td> <td>PB</td> <td>CHECKED</td> <td>PB</td> </tr> </table>		DRAWN	JK	CHECKED	PB	DESIGNED	PB	CHECKED	PB	<p>TITLE LOT 12297, PALMERSTON GENERAL ARRANGEMENT AND STORMWATER CONNECTIONS</p>					
DRAWN	JK	CHECKED	PB																
DESIGNED	PB	CHECKED	PB																
<table border="1"> <tr> <th>No</th> <th>DATE</th> <th>INITIAL</th> <th>AMENDMENT</th> </tr> <tr> <td>B</td> <td>23/02/15</td> <td>JK</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>A</td> <td>17/02/15</td> <td>JK</td> <td>ISSUED FOR COMMENT</td> </tr> </table>		No	DATE	INITIAL	AMENDMENT	B	23/02/15	JK	ISSUED FOR REVIEW	A	17/02/15	JK	ISSUED FOR COMMENT	<p>SCALE AS SHOWN</p>		<p>PROJECT No 14070</p>		<p>DRAWING No 14070-SK01</p>	
No	DATE	INITIAL	AMENDMENT																
B	23/02/15	JK	ISSUED FOR REVIEW																
A	17/02/15	JK	ISSUED FOR COMMENT																
						<p>AMDT B</p>													



Note:
The dimensions and areas shown on this plan are approximate only and are subject to survey.

Subdivision of Lot 10026
to create Proposed Lot 12825(A)
Town of Palmerston



Northern Territory Government

Department of Lands, Planning and the Environment



Scale 1: 1200 @ A4





Our Ref: 214D1033

24th March 2015

Jackman Gooden Architects (NT) Pty Ltd
GPO Box 175 Darwin NT 0801
ACN 009 626 939 | ABN 59 009 626 939
jgantdesign@jgant.com.au

Attention: Colin

Re: Palmerston – Lot 10026 Palmerston Circuit, Town of Palmerston

Dear Col

During the past few weeks AWS has been in discussions and preliminary negotiations with Powerwater (PWC) in relation infrastructure servicing of the proposed development. PWC requires contributions from the developer for essential services.

Summary of our meeting with PWC – 25.02.15 (DAS Report) Ref: PA2014/0933

- *Lot A as shown on attachment 1 will require a sewer and water connection to suit the new building layout for stage 1.*
- *The existing 150mm water main stub section is to be removed and upgraded to 225 joining the main in Palmerston Circuit to the 600mm main in Roystonea Ave as per attachment 2, of which the developer is to pay a contribution over and above the WASSSEP fees.*
- *Pertaining to the upgrades, approved design drawings will be required by PWC, panel contractors may be approached to submit pricing for these construction works to PWC alleviating the need for full design documentation.*
- *Suggestion is that quite a significant section of the existing sewer main be upgraded as per attachment 3. Estimated loads have been submitted to PWC for them to determine the extent of the upgrade, they will then have an idea of the level/amount of the monetary contribution.*

James Martin
AWS Consulting Engineers



Please include the following reference in all correspondence

ID: ID

25 March 2015

Telephone (08) 8935 9922
Facsimile (08) 8935 9900

Email
palmerston@palmerston.nt.gov.au

Web
www.palmerston.nt.gov.au

Civic Plaza
2 Chung Wah Terrace
Palmerston NT 0830

Please address
all correspondence to:

Chief Executive Officer
PO Box 1
Palmerston NT 0831

ABN 42 050 176 900

Mr Brad Cunnington
Northern Planning Consultants
3/15 Somerville Gdns
PARAP NT 0804

Dear Brad

Lot 9635 (15) The Boulevard, Palmerston City

I refer to your request to submit a development application for a mixed use development over Lot 12825 (A) and part lot 9635 on behalf of Randazzo Properties and Joondanna Investments.

This letter of consent is given under delegation and will be presented to Council for ratification at the earliest available meeting. Should Council resolve to withdraw its consent you will be advised accordingly.

If you wish to discuss this matter further please don't hesitate to give me a call on 8935 8958.

Yours sincerely

A handwritten signature in black ink, appearing to read "MS", written over a faint circular stamp.

Mark Spangler
Director of Technical Services



Land Administration
Level 1, Arnhemica House
16 Parap Road
Parap NT 0804
Postal address GPO Box 1680
Darwin NT 0801
Tel 8999 7019
Fax 08 8999 5404
Email sharon.jones@nt.gov.au

Our ref DDLPE2013/1222

Development Assessment Services
Department of Lands, Planning and the Environment
Ground Floor, Arnhemica House

Dear Sir/ Madam

I refer to Lot 10026 and part lot 9635 Town of Palmerston (1 Palmerston Circuit), of which Randazzo Properties & Joondanna Investments are seeking approval to lodge an application with the Development Consent Authority (DCA).

Approval is granted to Randazzo Properties & Joondanna Investments or its agent to lodge the relevant application with the DCA, in accordance with the requirements of the Planning Act.

It should be noted that no construction can commence on part lot 9635 until expiry of an existing Crown Lease over the land in March 2017.

In providing this authorisation, the Department in no way endorses the contents of the application but merely provides authorisation for the application to be lodged and considered by the DCA.

Please contact Mr Owen Dutton, Senior Project Officer on (08) 8999 6302 should you have any queries regarding this matter.

Yours sincerely

Karen White
A/Manager Land Release

19 March 2015